



River Valley Home Inspections LLC

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It was a pleasure completing your property inspection. As you will read, the inspection report consists of a detailed list of observations of different components and elements present in and outside the property with photographs of the property.

I have identified areas of the property that will need to be addressed to ensure the safety, proper operation and function of those components. I recommend you obtain consultation from competent trade specialists as an aid in planning your future course of action for such elements listed in this report. Additional reportable elements may be discovered during property repairs and upgrading.

Please feel free to contact me with any additional questions you may have concerning the report content. It has been a pleasure to serve your property inspection needs.

Thank You,
Dave

David M. DeSimone
River Valley Home Inspections LLC
Board Certified and Licensed in New Hampshire and Vermont

This report is solely for the benefit of the Client. Any person or party designated by the Client to receive information in this report shall be subject to all Terms and Conditions contained herein and in the signed Inspection Agreement.

REPORT DEFINITIONS

Your professionally prepared inspection report is divided into twelve to thirteen sections. Each section contains individual elements that are inspected during the inspection process. Each element is identified by one of seven rating types describing their condition. New Hampshire and Vermont allows for the construction and repair of properties without building permit requirements and building inspection oversight in many areas of both states. The inspection report is not a code enforcement document.

The six rating types include:

- ~ Satisfactory: Satisfactory notes the generally accepted working condition of the item identified in the report at the time of the inspection where observed.
- ~ BP: Best Practice: The use of the Best Practice notation is used to identify forms of construction and methods associated with good building and maintenance practices.
- ~ NM: Needs Maintenance: Items identified as Needs Maintenance are normally less serious and do not pose an immediate problem but will need to be corrected to ensure the life of the identified item.
- ~ PC: Professional Consultation: Conditions that are identified as Professional Consultation note a condition that will require further evaluation by a competent or licensed trade specialist trained in the specific area of expertise.
- ~ SI: Safety Improvement: Safety Improvement notes designate home/building construction observations that have improved the general safety of homes and buildings over time and will need to be addressed as a priority for repair/modification.
- ~ CN/SN/ON Customer Note/ Sellers Note/ Owners Note: Customer, Sellers and Owners notes will designate general information important for your awareness and knowledge.

For Your Information: Important Customer Note:

~Building code compliance is not a part of the inspection protocol. "Building code requirements generally apply to the construction of new buildings and alterations or additions to existing buildings, changes in the use of the building, and the demolition of buildings or portions of buildings at the ends of their useful lives. As such, building codes obtain their effect from the voluntary decisions of property owners to erect, alter, add to, or demolish a building in a jurisdiction where a building code applies, because these circumstances routinely require a permit. The plans are subject to review for compliance with current building codes as part of the permit application process. Generally, building codes are not otherwise retroactive except to correct an imminent hazard." Source: International Building Code

~Home inspections in NH and VT are not code inspections. As a home inspector in New Hampshire and Vermont, I am not performing a code compliance inspection. Building codes change frequently, vary by jurisdiction, and are enforced only by the Authority Having Jurisdiction (AHJ), such as the town building inspector or State Fire Marshal's Office. However, I do use building codes, industry standards, and best practices as reference points to help explain why a condition may be unsafe, outdated, or not functioning as intended.

~Building Permits; The requirement to obtain construction permits varies from town to town throughout New Hampshire and Vermont. Many towns do not require construction permits and owners and contractors are on their own in constructing projects for the property. The requirement of obtaining proof of past permits is not part of the inspection process due to the variability, changing requirements and the nature of permits in general in Vermont and New Hampshire. I strongly recommend that you ask the question and research the requirements with the town where you are purchasing or selling your property if renovations like basement finishing, additions, or other major modifications have been performed. If permits are required, proof of the permit and all subsequent inspections, sign-offs and the close of the permit should be supplied to you or kept on record.

~Water Body and Features: The presence of or proximity to water bodies—including but not limited to lakes, ponds, rivers, streams, or koi ponds—is outside the scope of this home inspection; These features may be located on the property or adjacent to it, and in some cases, may not be visible from the primary dwelling due to property size or vegetation; If present, the evaluation of their safety, structural integrity, depth, water quality, or maintenance requirements is not performed; It is advised that the buyer perform independent due diligence to identify all water features and consult with a qualified specialist for a full safety and risk assessment.

Client Information:

Property Information:

Summary

Section 1: Site Grounds & Grading

Inspection Information

Date Of Inspection: 4/1/2026

Weather: 47 Degrees and Cloudy

Square Feet Inspected: 815

Driveway

CN.

~Driveway Surface Renewal and Options: Observation of the driveway identified that the gravel and old asphalt surface has significantly deteriorated, resulting in muddy conditions and exposed soil; The current lack of stone coverage prevents proper drainage and leads to deep rutting during wet seasons; It is recommended that a professional paving or excavation contractor be consulted to explore options for either renewing the gravel surface or installing a full asphalt driveway; This evaluation is important to restore a stable driving surface and ensure long-term durability for the building's use.

Sidewalks / Walkways

CN.

~Establishing Walkways: Observation of the home's exterior noted that permanent walkways are missing between the driveway and entry points; Establishing continuous walks allows people to move safely across lawns and open areas, especially during winter or rainy conditions; It is recommended that a qualified hardscape contractor be consulted to design and install stable walking surfaces to ensure a safe and reliable path of travel.

General Grading / Drainage

NM.

~Regrade Construction Activity: The front lawn needs to be properly graded and reseeded where construction activity has disturbed the soil; Lawns in this condition create tripping hazards when mowing or crossing the lawn.

Grading at House Wall

NM.

Low Areas And Damp Basement Walls Observed.

~General Grading Needs: The grade along the perimeter of the home is an important factor in keeping moisture away from homes and allowing water to flow away from the home's siding, sills and foundation; A plan should be implemented to upgrade the current grading along the foundation including the walk out door area if present and any planting beds of the home; Grading first with vapor barrier with stone on top should be added to allow water to flow away from the foundation and limit dirt and water splashing onto the siding of the home; The top of the stone border should be at least 6 inches below the edge of the siding when establishing the grade of 5/8th inch pitch per foot fall and/or drained to move water away from the foundation; If unseen decay is discovered in the course of grading improvements, any impacted siding will need to be addressed to include ensuring the sill and wall studs are intact behind the siding.

Trees & Shrubs

BP.

~Ongoing General Tree Care: The home is surrounded by larger trees; The trees should be fully assessed by a tree professional to determine the health and structural integrity of the trees including the removal of any dead or declining trees or dead and declining branches that may fall from the living trees; It is especially important to remove tree branching overhanging roofs that may damage roofs or allow for the development of moist roof condition promoting the growth of moss and lichens on the roof surface; Tree health and integrity should be monitored especially after storm events to include heavy wind, heavy snow or ice.

~Maintain/Remove Vegetation: All vegetation within at least 2 feet of the home (6 feet is preferred) needs to be removed; Vegetation close to homes allows moist conditions to form along the home promoting decay and algae growth as well as harboring pest that may find their way into the home.

Section 2: Exterior & Structure

Building Information

CN.

~Circa 1970's: Buyer: Lead, Asbestos, and Decay History Information; Many homes built before 1978 with minimal reconstruction work like original windows, original trim, wood clap siding and other original

wood surfaces, may have paint that contains lead (called lead-based paint); In addition, homes of this age up through 1985, may have used elevated asbestos containing products in the construction of the home including textured ceiling installation; Licensed professionals are available to test and document the presence or not of these materials if desired or if reconstruction projects are undertaken and existing home materials are disturbed; Age of Home: Homes of this age have been exposed to years of varying weather and environmental conditions, construction methods, and exposure to moisture that may cause damage and rot to wood along the outside sill areas and in dirt crawlspaces that are unseen and may be discovered during reconstruction projects; If renovation work is planned after the home is purchased, your best efforts will need to be made to hire a professional building contractor to complete a review and estimate for repairs of the property before purchase.

Exterior Wall Covering

NM/PC.

~Vinyl Siding Cleaning and Maintenance: Observation of the exterior siding identified an accumulation of dirt, organic growth, and surface debris on the vinyl panels; While the siding appears in generally good condition, it is recommended that a professional exterior cleaning company be consulted to power wash the siding using manufacturer-approved detergents; This maintenance step is vital to protect the finish and maintain a clean building envelope.

~Vinyl Siding Missing: Near Propane Tanks: Missing vinyl siding pieces were observed and will need to be installed.

Eaves, Trim, Soffits, Fascia Boards and Exposed Roof Rafter Ends

PC/NM.

~Repair and Paint: Aged and exposed wood and paint conditions were observed along the window and door trim, the trim fascia board below the roof drip line, and the full soffit; To maintain the optimal protection of the home in these areas, it is recommended the trim, eaves and soffits of the home be reviewed and all decay repaired and repainted; After a full initial painting, painting will need to be completed on as needed or manufactures recommended cycle dependent on the paints condition; Please note: the wall sheathing, 2X4 wall studs, rafter ends, and any area behind the trim and trim fascia boards will need to be reviewed for damage when the areas are exposed and if damage is identified those items repaired; A full review of the homes perimeter needs to be performed and the repairs completed.

Propane Tank, Metering When Applicable, and Exterior Piping

CN/SI.

~Propane tanks and their associated delivery systems are considered outside the scope of a standard home inspection; It is recommended that the propane delivery company be contacted prior to the transfer of ownership to confirm the tank's lease or ownership status and to perform a comprehensive safety evaluation; This professional review should verify the condition of the tank, all interior and exterior supply lines, shutoff valves, and regulators; It is essential for the provider to confirm that the regulators have proper venting protection and that the system is appropriately shielded from falling snow or ice; All safety checks and maintenance should be documented by a certified technician in accordance with manufacturer recommendations and state safety standards before taking ownership of the system.

Deck Stairs

PC/SI.

~Deck Stair Stringer Attachment: Observation of the staircase identified that the stair stringers are improperly attached to the deck structure; The connection lacks the required metal connectors or specialized hardware (such as stringer hangers) to ensure a secure, load-bearing bond; It is recommended that a qualified deck contractor be consulted to install approved structural hardware to prevent the stairs from pulling away or collapsing.

~Open Stair Riser Safety: Assessment of the deck stairs identified "open risers," where the vertical space between steps is open; Modern safety standards require these gaps to be small enough so a 4-inch ball cannot pass through; It is recommended that a qualified building contractor be consulted to install riser enclosures to meet current safety requirements.

~Stairway Landing Pad: Evaluation of the staircase noted that the last step terminates onto a surface lacking a proper landing pad; It is recommended that a qualified building contractor be consulted to install a level, stable landing at the base of the stairs to ensure a uniform and safe transition when stepping off the final riser.

~Deck Stair Handrail and Guard Requirement: Observation of the deck stairs identified that the assembly consists of four risers and exceeds 30 inches in height without a functional handrail or safety guards; For user stability and fall protection, modern safety standards require a graspable handrail and protective guards on both sides of the stairs when they reach this height; It is recommended that a qualified building

contractor be consulted to install a graspable handrail and safety guards with openings no larger than 4 inches to meet current safety rules.

Deck

PC/SI.

~Deck Structural Attachment Enhancement: Observation of the exterior deck confirmed that newer tie hardware types to the structure are missing; To further improve the connection between the deck and the house, it is recommended that a professional building contractor be consulted to install modern tension-tie hardware or approved deck ledger board screws; This enhancement is important to ensure the deck remains secure and provides long-term stability for occupant safety.

~Clean Deck Surface: Clean and Power Wash: Algae was observed on the deck surface and should be treated and power washed to remove any surface material from the deck surface; A note of caution: Pressure treated and wood deck surfaces can be very slippery when wet and have a tendency to form a very thin layer of ice in colder weather; Snow does not have to be present; Consideration in resurfacing the deck to help lessen the chance for a slip with non-slip deck materials or deck coatings may be utilized.

~Pier and Post Displacement: As a result of soil moisture and freeze and thaw cycles and missing or undersized piers, the post have moved off center; The piers, post and all bracing needs to corrected to properly carry the deck above the piers and posts and the structure reviewed to ensure all damage is repaired; It is recommended a qualified structural building professional be consulted regarding the appropriate repairs to eliminate the observation.

~Diagonal Bracing: Corner Post: No diagonal bracing was observed supporting the deck and post; Diagonal bracing provides increased structural integrity to the deck.

~Deck Ledger Flashing (Advisory): Observation of the deck-to-house connection identified that proper flashing is either missing or improperly installed; Flashing is a critical water-proof barrier (usually metal or plastic) that prevents water from getting trapped behind the deck board and rotting the house's structural framing; It is recommended that a qualified deck contractor be consulted to install (or confirm) approved flashing to ensure the connection is weather-tight and the house structure is protected from long-term water damage.

Porch(s)

PC/SI.

~Porch Deck Stair Stringer Attachment: Observation of the staircase identified that the stair stringers are improperly attached to the porch deck structure; The connection lacks the required metal connectors or specialized hardware (such as stringer hangers) to ensure a secure, load-bearing bond; It is recommended that a qualified contractor be consulted to install approved structural hardware to prevent the stairs from pulling away or collapsing.

~Clean Stair Surface: Clean and Power Wash: Algae was observed on the stair surface and should be treated and power washed to remove any surface material from the surface; Consideration in resurfacing the stairs to help lessen the chance for a slip with manufactures recommended non-slip materials may be utilized.

~Stairway Landing Pad: Evaluation of the staircase noted that the last step terminates onto a surface lacking a proper landing pad; It is recommended that a qualified building contractor be consulted to install a level, stable landing at the base of the stairs to ensure a uniform and safe transition when stepping off the final riser.

~Porch Deck Stair Stringer Attachment: Observation of the staircase identified that the stair stringers are improperly attached to the porch deck structure; The connection lacks the required metal connectors or specialized hardware (such as stringer hangers) to ensure a secure, load-bearing bond; It is recommended that a qualified contractor be consulted to install approved structural hardware to prevent the stairs from pulling away or collapsing.

~Porch Stair Handrail and Guard Requirement: Observation of the porch stairs identified that the assembly consists of four risers and exceeds 30 inches in height without a functional handrail or safety guards; For user stability and fall protection, modern safety standards require a graspable handrail and protective guards on both sides of the stairs when they reach this height; It is recommended that a qualified building contractor be consulted to install a graspable handrail and safety guards with openings no larger than 4 inches to meet current safety rules.

Section 3: Roof and Chimney(s)

General Observations

CN.

~All components of the roof to include general covering condition, leaks, flashing, roof vents, skylights,

and exterior roof structure, where applicable are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Exterior Roof Structure

CN/PC.

~Roof Ridgeline Sag: A significant sag in the ridge line was observed along the front portion of the roof; It is recommended the roof be professionally reviewed to determine and correct the cause of the observation to ensure the roof properly sheds rain and snow loading in the winter months.

Exterior Roof Covering Condition

PC.

~Metal Roof Surface Sealing Evaluation: Observation of the metal roof assembly identified signs of aging, including fading paint surfaces on sections of the roof; While the roofing material appeared in generally good condition, the protective finish has begun to age; It is recommended that a qualified roofing specialist be consulted to perform a review of the seams and fasteners; This professional evaluation is important to determine if the roof is a candidate for a specialized resurfacing treatment to ensure long-term weather protection of the roof surface.

Roof Side Wall and Valley Flashing

PC.

~Improperly Installed Roof Flashing: Observation of the roof assembly identified that the flashing between two roof surfaces is improperly installed; Proper flashing should be installed to avoid moisture seepage over time; It is recommended that a qualified roofing contractor be consulted to review and correct the installation and properly seal the transition; This repair is necessary to ensure a watertight building envelope and prevent moisture from entering the wall cavity over time.

Gutters & Downspouts

CN/BP.

~Partially Installed: To aid in draining roof water runoff from around the home and foundation, additional gutters may be considered; Gutter type, size and strength is important in this geographic area; Gutters, downspouts and extensions need to withstand snow and ice sliding from roof surfaces and have the ability to catch and carry large amounts of water as a result of steep roof pitches.

~Existing Gutter Extensions: Missing: Extensions are important to move water away from the foundation and will need to be added.

Exterior Chimney Observations

PC/Sl.

~Basement Rust Observed: Liner and Flue Safety: Identification of the combustion gas appliance(s) confirmed the need for a professional chimney inspection and cleaning; An important maintenance and safety step is verifying the presence and condition of a proper appliance exhaust; It is recommended that the exhaust be cleaned and fully inspected by a certified technician before taking possession of the home; The installation or repair of a liner is necessary to ensure the safe venting of combustion gases.

Section 5: Basement / Crawlspace/ Frost Wall/ Slab/Lower Level

General Observations

CN.

~Where applicable, all components of the basement/crawlspace to include the floor, columns, moisture, stairs, insulation when visible, floor joist and sub-floor where visible, and receptacles is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Clean Up and Clean Out

CN.

~Basement General Maintenance and Organization: Observation of the basement area noted an accumulation of debris and stored materials that would benefit from a general cleanup; While the visible areas appeared in generally good condition, clearing the space allows for better airflow and easier access to the home's mechanical systems; It is recommended that the basement be organized and cleaned to ensure all foundation and framing surfaces remain visible for future review; This simple maintenance step is advised to help maintain a dry and well-ventilated environment.

Moisture

CN.

~Basement Moisture and Humidity Management: Observation of the basement area detected a relative humidity level of 78%, which exceeds the ideal range of 45% to 50%; While no active leaks were present, the presence of wall dampness, past staining and efflorescence indicated current and previous moisture activity; It is recommended that proper exterior grading and gutter installation be utilized to direct water

away from the foundation. Additionally, a dehumidification system, air exchange and cold water pipe insulation should be installed to manage internal humidity and reduce condensation; Should water penetration occur during heavy rain or snowmelt, a professional basement waterproofing specialist should be consulted to evaluate further remedies to reduce its impacts.

Dehumidifier and Heat Recovery Ventilation (HRV)

BP

Options Or Both.

~Unit Observed: Not In Use: Enhanced Dehumidifier: During the year, primarily in the summer months, ventilation and dehumidification of the basement/crawl space areas if present is recommended; Humidity levels maintained at 45% to 50% improve the overall living space conditions eliminating excess moisture generated in the basement.

~Unit Not Observed In Basement: Heat Recovery Ventilators (HRV's): Used primarily in cold climates, Heat Recovery Ventilators (HRV's) pass two air streams, one into the home from the outside and the other from inside the home to the outside reducing moisture and air impurities through filtration; To ensure optimal performance and air quality, the units will need to be maintained and operated per the manufacturer schedule to include washing of the filters, vacuuming, wiping down the units interior, and cleaning the exterior intake vents.

~It is recommended that dehumidification and air exchange be added to the basement and crawlspace after corrections to reduce moisture in the basement and crawlspace are implemented.

Basement/Crawlspace Floor Structure

CN.

~Dirt Floor Vapor Barrier and Encapsulation: Observation of the crawlspace identified a moist dirt floor that is contributing to elevated humidity levels within the basement; To mitigate moisture evaporation, it is recommended that the floor be cleared of all debris and a high-quality, durable vapor barrier be professionally installed; For maximum protection, a full encapsulation of the crawlspace—to include sealing the walls and floor—is recommended to create a conditioned, dry environment; This professional upgrade is essential to prevent organic growth, protect the floor framing from rot, and significantly improve the overall air quality of the home.

Floor Drain

CN.

~Basement Floor Drain Evaluation: Identification of the basement area disclosed the presence of a floor drain; The drain was not tested as part of the home inspection scope due to the risk of water damage if the system fails to operate; It is recommended that a licensed plumbing or septic professional be consulted to scope the line and locate the exterior discharge point; This professional review is necessary to ensure the drain remains clear of vegetation or pest obstructions; Yearly maintenance is essential to ensure the exit point remains unobstructed.

Insulation

CN.

~Basement Insulation and Blocking Methods (Revised: March 3, 2026): Observation of the basement area noted that modern energy efficiency improvements often involve the installation of spray foam or non-papered fiberglass insulation between the first floor and the top of the foundation; In some instances, these materials are applied to all interior basement walls and wood blocking within crawlspaces to enhance thermal performance; It is recommended that a professional insulating contractor be consulted to discuss the various options and ensure that any current or future installations meet specific ventilation and fire-safety standards.

Basement Stairs / Railings

PC/SI.

~Grasp Rail Missing: Basement stairs require the installation of an approved grasp rail that can be firmly grasp the full length of the stairs at least 34 to 38 inches in height to aid individuals climbing and descending stairs; The current rail is missing and will need to be installed.

~ Non-Standard Stair Riser and Tread Ratios: Evaluation of the staircase revealed that the riser heights and tread depths (runs) are inconsistent or do not meet standard safety ratios; It is recommended that a qualified building contractor be consulted to evaluate options for bringing the staircase into alignment with modern safety standards.

Observed Structure: Rim Joist, Sill Plate, Floor Joists, Sub-Floor, Support Beams, and Columns

PC.

~The improperly installed block pier in the crawlspace needs to be replaced with an approved pier and post to properly support the structure over time.

Laundry Room

SI.

~Important Fire Protection Maintenance: Washer and Dryer Behind and Under Unit Clean-up: As an important maintenance task for fire prevention, the areas behind the washer and dryer cleaned and vacuumed of all lint, dust and objects that find their way behind the units over time; The dryer vent and all connecting venting hoses should be cleaned and if plastic vent pipes discovered replaced with metal and the termination point outside the home confirmed; The clothing washing machine plumbing and drain connections should be reviewed for proper installation and shut off ability; The clothing washing machine is not tested as part of the inspection due to the possibility of leaving water in the unit; Verification of the units operability should be made with the seller if the unit is part of the sale.

Receptacles

CN.

~Please see Section 12: Basement/Crawlspace: Outlets, Fixtures, & Switches notes.

Section 6: Plumbing

Water Service

BP.

~Well: Pressure Tank, Cleanup, Cold Water Pipe Insulation and Catch-pan: If not completed, all dirt and debris and any nonessential items should be removed from around the homes water system; Condensation generated from cold water pipes and humid room conditions, common in this area, drip onto floors and drop ceilings if installed; Insulating cold water pipes and adding a drip catch pan below the well pump pressure gauge and piping area at the base of the tank will help lessen this impact.

Water Heater

PC/SI.

~Tankless Boiler Coil Maintenance Or Filter Change: Identification of the heating system confirmed the presence of a tankless domestic hot water coil; Over time, mineral deposits can accumulate within the coil, leading to reduced water pressure and inconsistent hot water temperatures; It is recommended that a licensed plumbing or HVAC technician be consulted to perform a chemical descaling of the system and other manufacturer recommended services as a part of the general maintenance of the unit; This essential maintenance ensures proper flow and that the unit operates at peak efficiency.

~Missing Extension Pipe: The Extension pipe used to direct scalding water away from individuals in the event of a safety relief valve release and connected to the relief valve of the water heaters is missing and has to be installed within 6 inches of the floor surface.

Waste

CN.

~New System: A new septic system is being installed; The contractor name, contact info and all warranties and guarantees should be provided and retained for your records.

Waste And Drain Lines Interior Basement/Crawlspace/Above The Slab

PC.

~The clothes washing machine and basement utility sink need to be connected into the septic system.

PC.

~The function of the two PVC lines running into and out of the basement need to be traced and their identified to ensure they are properly installed for their intended use.

Exterior Water Faucets and Shower If Present

CN.

~Seasonal Use: After the end of the summer season it is important to remove all hoses and shut off outside water faucets if applicable.

~The exterior shower has been winterized; After the weather warms, the unit will need to be connected and tested to ensure the unit is not leaking.

Section 7: Oil Fired Forced Hot Air Furnace

Heating System

CN/PC.

~2026 and 2027 Heating Season: Last service date tag- Not Determined: The furnace fired and ran during the inspection process; Before taking possession of the home, the furnace will need to be fully cleaned and serviced and then on a yearly basis going forward; The shroud, and all connecting pipes need to be cleaned of any debris and the interior vacuumed and the unit wiped down to eliminate dirt and debris on the furnace surfaces; Oil fired furnaces need to be serviced yearly; Some customer elect to purchase yearly maintenance or home warranty plans (if available due to the age of the unit) to cover

cleaning, emergency response and repair and replacement needs if required; The current service company, local fuel delivery companies, or a web site search of home warranty programs should be contacted if a specific plan is desired.

Oil Tank(s)

PC.

~New Hampshire Oil Tank Service (Advisory): Observation of the heating system noted that some current New Hampshire oil tank requirements may not be met; It is important to have the oil delivery company verify the tank's condition before taking possession or switching providers; Often, companies will fail existing tanks or fill line setups when a new customer starts service; It is recommended that the oil delivery company be contacted to inspect and sign off on the tank's condition for continued delivery.

Unit Exhaust Venting

PC/SI.

~Furnace Exhaust Condensation and Rust: Observation of the furnace exhaust venting identified visible rust and signs of condensation damage; This typically occurs when exhaust gases cool too quickly, leading to acidic water buildup that eats through the metal; Over time, this can lead to dangerous exhaust leaks or equipment failure; It is recommended that a licensed HVAC technician be consulted to replace the damaged venting and determine the cause of the condensation to prevent future rusting.

Air Filter

NM.

~Filter Change and Fan Housing Cleaning: Electric power to the unit will need to be turned off before any work is completed in the filter compartment of the heater; Air filters should be changed per manufacturer suggested periods to ensure proper air flow and air filtration in the home; The full space and all fan components should be cleaned and vacuumed to remove debris; Companies that will clean the ductwork of dust and danger and debris accumulated over the years in the duct work are available.

Humidifier

PC.

~Humidifier Maintenance and Service: Observation of the heating system identified an attached humidifier unit; Humidifiers require regular upkeep, such as cleaning and filter replacement, to prevent mold growth and ensure they work efficiently; It is recommended that a licensed HVAC technician perform a full service on the unit in accordance with the manufacturer's specifications to confirm it is operational.

Section 7: Cooling

Cooling System Service

CN/PC.

~Circuit Breaker In The Off Position: Low Temperature Cooling System Limitation: Examination of the AC system revealed that the unit could not be tested in cooling mode because the outdoor temperature was below 60 degrees Fahrenheit; Testing in cold weather is avoided because the lubricating oil in the system thickens, which can lead to serious damage to the compressor or other internal parts.

~Central Air Conditioning Maintenance: Review of the central air system revealed no record of the last service date; Because yearly maintenance is vital for the system's longevity and performance, it is recommended that a heating and air conditioning service company be contacted to fully service the unit to include the interior evaporative coil system to ensure the system is operating a full efficiency before you take possession of the system.

Section 8: Interior

General Observations

CN.

~Where applicable, all components of the interior to include floor structure, ceilings, interior doors, moisture damage, windows, and stairs are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Walls

PC.

~Manufactured Home Hallway Width: Observation of the interior identified a hallway width of approximately 24 inches; Federal HUD standards for manufactured homes generally require hallways to be a minimum of 28 to 30 inches wide to ensure safe passage and emergency exit; This narrow 24-inch space can restrict movement, make it difficult to move furniture, and limit accessibility for those using mobility aids; It is recommended that a qualified building contractor experienced with manufactured

homes be consulted to evaluate the hallway for widening to meet current safety standards.

Windows

CN/PC.

~Vinyl Window Condition and Maintenance: Observation of the vinyl window systems confirmed that the units are in generally good condition; However, a failed insulation seal was noted on one window, and damaged or missing screens were observed on several others; It is recommended that a professional window renewal company be consulted to perform a full cleaning, lubrication, and evaluation of these items to ensure the windows are in good operating order.

Energy Savings Tip: Air Sealing

BP.

~Source: Energy.gov: "Reducing the amount of air that leaks in and out of your home is a cost-effective way to cut heating and cooling costs, improve durability, increase comfort, and create a healthier indoor environment; Caulking and weather-stripping are two simple and effective air-sealing techniques that offer quick returns on investment, often one year or less; Caulk is generally used for cracks and openings between stationary house components such as around door and window frames, and weather-stripping is used to seal components that move, such as doors and operable windows;" Properly sealing wall light switches and electrical receptacles is another area for improved air sealing.

Full Home Energy Audit

BP.

Please Contact Your Electric Utility Provider.

~A home energy audit, also known as a home energy assessment, can help you understand the whole picture of your home's energy use; An audit can help you determine how much energy your home uses, where your home is losing energy, and which problem areas and fixes you should prioritize to make your home more efficient and comfortable; A home energy audit should be your first step before making energy-saving home improvements, as well as before adding a renewable energy system to your home.

Section 9: Kitchen(s)

General Observations

CN.

~Where applicable, all components of the kitchen to include the cabinets, counters, dishwasher (start and drain), disposal, flooring, microwave, moisture, range/oven, refrigerator, sink and ventilation is inspected: The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Cabinets

NM.

~Cabinets and Drawers: Adjustments; To maintain the life expectancy of the cabinets, adjustments and tightening the cabinet doors, and drawer fronts/slides should be made to properly operate the cabinets.

Dishwasher

CN.

~Not Installed.

Receptacles

CN.

~Please see Section 12: Kitchen: Outlets, Fixtures, & Switches notes.

Section 10: Bathroom 1

General Observations

CN.

First Floor Level.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, showers, GFCI's, moisture, and flooring is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Receptacles

CN.

~Please see Section 12: Bathroom(s): Outlets, Fixtures, & Switches notes.

Section 12: Electrical

Service Entrance

SI.

~Deteriorated/Damaged Sheathing And Rusted Connections: The protective cover installed on the service entrance cable has deteriorated allowing weather to penetrate the meter panel and may impact the electrical service over time; The local utility should be contacted to determine responsibility including the full inspection of the utility sealed interior meter panel to ensure rust and corrosion has not damaged the internal connections.

Generator

BP.

~Electricity Dependent Systems: Where Applicable: As a result of the systems used to support the day-to-day functions of this home to include home office(s), water, septic, internet, lights, and heat in the winter, combined with a large tree population and severe winter temperatures and summer storms, the installation of some form of back-up generation may be considered to eliminate the impacts associated with no electricity for extended periods of time.

Main Panel(s)

SI.

~New construction requirements are in place, and the electrical panel will need to be reviewed by a Licensed Electrician to perform the identified recommendations or other repairs identified by them in their assessment; In some cases, a need to upgrade the panel will be made based on the ability of the panel to accommodate the identified recommendations.

~Circuit Labeling and Verification: It is recommended that the labeling be professionally updated to accurately reflect the current use of all areas in the home; Proper labeling is essential for safety during maintenance and in the event of an emergency.

~AFCI Circuit Protection Recommendation: It was noted that the panel lacks Arc-Fault Circuit Interrupter (AFCI) protection; Current safety standards require AFCI protection for nearly all 15 and 20-amp branch circuits in residential living areas, including bedrooms, living rooms, and hallways; It is recommended that these specialized breakers be installed to enhance the fire safety of the home's electrical system.

~Panel Wiring Organization: It was noted during the inspection that the wiring leading into and inside the electrical panel is poorly organized and needs to be properly separated and secured; A licensed electrician should reorganize the wiring to ensure all conductors are properly managed and terminated.

~Surge Protection for Sensitive Equipment: Evaluation of the electrical system revealed that a Surge Protective Device (SPD) is currently missing; Modern homes contain sensitive electronics and appliances that are vulnerable to high-voltage spikes; It is recommended that a whole-house surge protector be installed within the panel to mitigate the risk of damage from external power surges.

Sub Panel

SI.

~Sub-Panel Wiring Designation: This entry refers to the sub panel electrical panel, which requires rewiring to meet sub-panel configuration standards; Because the primary service disconnect is located at the exterior meter, the interior panel must be isolated according to sub-panel rules; The specific requirements for separating the neutral and ground conductors must be determined and corrected by a licensed electrical contractor to ensure the system is safe and code-compliant.

~Circuit Labeling and Verification: It is recommended that the labeling be professionally updated to accurately reflect the current use of all areas in the home; Proper labeling is essential for safety during maintenance and in the event of an emergency.

~AFCI Circuit Breaker Protection Recommendation: An arc-fault circuit interrupter (AFCI) also known as an arc-fault detection device (AFDD) is a circuit breaker that breaks the circuit when it detects an electric arc in the circuit it protects to prevent electrical fires; AFCI protection is currently required for new construction of all 15 and 20 amp branch circuits providing power to outlets in residential family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and similar rooms or areas.

General Observation(s): Outlets, Fixtures, and Switches

SI.

~Electrician Walkthrough and Repair: Home, Garage, and Outbuildings If Present: Commonly found in most properties and sometimes as a result of limited observation due to items and furniture in the home, a room by room and area review will need to be completed; Any missing/ damaged light fixtures, light switch and plug covers, improperly terminated or loose wires, or missing junction box covers installed and not identified during the inspection will need to be repaired.

~Where Applicable: All GFCI to include exterior outlets, AFCI outlets and circuits will need to be tested at move in and ongoing per manufactures recommend intervals to ensure the outlets and circuits trip and

reset properly.

~Licensed Electrician: All repairs will need to be performed by a licensed electrician.

Exterior: Outlets, Fixtures, & Switches

SI.

~Missing: GFCI Exterior Missing: No Exterior GFCI Plugs Installed: For safety and convenience purposes GFCI protected outlets and covers will need to be added to the exterior front, rear and deck of the home.

~Decks: Exterior stairways require the installation of an artificial light source located at the top and bottom of the stairs to fully illuminate the stairway and controlled from within the home; It is recommended a review of the deck lighting be performed after hours to determine the correct placement of the lights to determine the stairways are properly lighted.

Detached Structure/Shops/Pool Houses/Greenhouses Fixtures and Switches

SI.

~Out Building(s) Not Inspected: The building(s) were not inspected as part of this inspection package; It is important to have a licensed electrician review the structures to ensure the outbuildings are properly protected if power is present to the buildings.

Basement/Crawlspace: Outlets, Fixtures, & Switches

SI.

~ Basement and Finished Space GFCI Protection: Evaluation of the basement revealed a lack of Ground Fault Circuit Interrupter (GFCI) protection; Current safety standards identifies receptacles in below-grade, unfinished, and finished areas to be GFCI protected to mitigate the risk of electrical shock; It is recommended that a licensed electrical contractor be consulted to evaluate the installation of GFCI devices for all required basement circuits.

~Improperly Terminated Wiring: Evaluation of the electrical system revealed wires that are not properly terminated; It is recommended that a licensed electrician be consulted to evaluate these locations and install approved junction boxes and covers where required; This will ensure all wiring is properly protected and secured according to safety standards.

~Basement Stairwell Lighting Missing: Basement home stairwells need to be properly lighted and have the ability to be turned on and off from both the bottom and top of the stairs.

~Open Junction Boxes: Basement Wall: An open junction box(s) was observed and needs to be properly covered.

~Th closet light needs to be properly installed to include the addition of a bulb cover.

~Floating Wire(s): All conductors need to be properly secured; Floating wires were observed and need to be corrected with approved staples or holders.

Plumbing: Outlets, Fixtures, & Switches

SI.

~Heat Tape/Cable Use: Heat cabling was observed in use in the basement leading into the wall space; Heating tape/cables are not in the inspection scope; It is important to confirm that the units are operational for the winter season and installed per manufactures recommendations.

Laundry: Outlets, Fixtures, & Switches

SI.

~Laundry Area GFCI Protection: Evaluation of the laundry room revealed that the outlets serving the appliances (to include the dryer) do not appear to have Ground Fault Circuit Interrupter (GFCI) protection; It is recommended that a licensed electrician be consulted to evaluate the circuit and install GFCI protection as needed; This upgrade is suggested to enhance safety in areas where water and electrical components are in close proximity.

Kitchen: Outlets, Fixtures, & Switches

SI.

~Not Installed: GFCI Kitchen: All receptacles along all counter-top areas require and were tested for GFCI protection; The plugs did not trip when tested indicating a lack of ground fault circuit interruption protection; A full review of all the plugs needs to be performed after the repairs are completed.

Bathroom(s): Outlets, Fixtures, & Switches

SI.

~GFCI Protection Near Sink: Observation of the bathroom identified that there is no Ground Fault Circuit Interrupter (GFCI) protected outlet within 3 feet of the sink; Modern safety standards require GFCI protection near all water sources to prevent electrical shock; It is recommended that a licensed electrician be consulted to install a GFCI outlet to meet current safety requirements.

Smoke and CO Detection

SI.

~Smoke and Carbon Monoxide Detection Compliance: Evaluation of the home's detection systems was limited to a visual confirmation of presence as units are not removed or tested during this inspection; It is recommended that a qualified professional be consulted prior to taking possession to verify the location, age, sensor type—specifically the use of ionization and photoelectric technology—and whether the units are hard-wired or battery-operated; The professional should confirm if CO detection is present or missing in current units and ensure the system meets State Fire Marshal standards; Any units exceeding ten years of age should be replaced and a maintenance schedule established for weekly testing and regular battery replacement.

Current Status.

~Full Review And Upgrade.

~Smoke: Missing In Bedrooms And Basement

~CO: Missing In Basement

~NH: Install Per The Rules Found At New Hampshire Division of Fire Safety Site:

<https://www.concordnh.gov/DocumentCenter/View/16411/2020-05-Smoke-Detector-devices-in-Dwellings>

and <https://mm.nh.gov/files/uploads/fmo/remote-docs/2020-06-carbon-monoxide-devices.pdf>

~Additional National Fire Protection Association Smoke Detection Information Link:

<https://www.nfpa.org/education-and-research/building-fire-safety/smoke-alarms/installing-and-maintaining-smoke-alarms>

~Additional National Fire Protection Association CO Detection Information Link:

<https://www.nfpa.org/education-and-research/building-fire-safety/carbon-monoxide>

Section 1: Site Grounds & Grading

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. When decks and porches are built close to the ground where no viewing or access is possible, we cannot make accurate opinions. These areas as well as others that are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in this report. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Inspection Information

Date: 4/1/2026

Time: Morning

Weather Conditions: Cloudy

Comments:

Date Of Inspection: 4/1/2026

Weather: 47 Degrees and Cloudy

Square Feet Inspected: 815

Driveway

Condition: Customer Note/ Sellers Note/ Owners Note

Type: Asphalt, Gravel

Comments:

CN.

~Driveway Surface Renewal and Options: Observation of the driveway identified that the gravel and old asphalt surface has significantly deteriorated, resulting in muddy conditions and exposed soil; The current lack of stone coverage prevents proper drainage and leads to deep rutting during wet seasons; It is recommended that a professional paving or excavation contractor be consulted to explore options for either renewing the gravel surface or installing a full asphalt driveway; This evaluation is important to restore a stable driving surface and ensure long-term durability for the building's use.



Primary Use Entrance Point Step/Stair To Home

Condition: Satisfactory

Sidewalks / Walkways

Type:Missing

Comments:

CN.

~Establishing Walkways: Observation of the home's exterior noted that permanent walkways are missing between the driveway and entry points; Establishing continuous walks allows people to move safely across lawns and open areas, especially during winter or rainy conditions; It is recommended that a qualified hardscape contractor be consulted to design and install stable walking surfaces to ensure a safe and reliable path of travel.



General Grading / Drainage

Condition: Needs Maintenance

Comments:

NM.

~Regrade Construction Activity: The front lawn needs to be properly graded and reseeded where construction activity has disturbed the soil; Lawns in this condition create tripping hazards when mowing or crossing the lawn.



Grading at House Wall

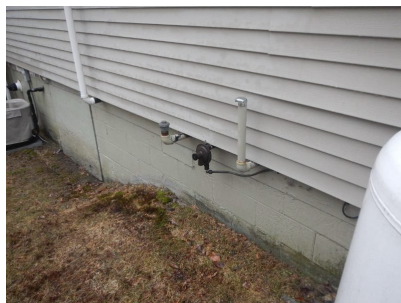
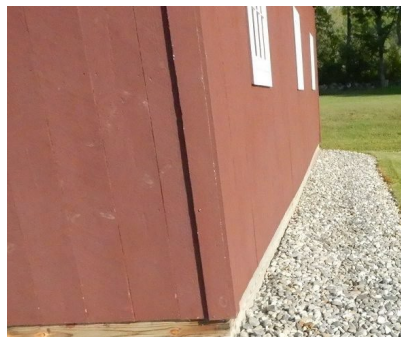
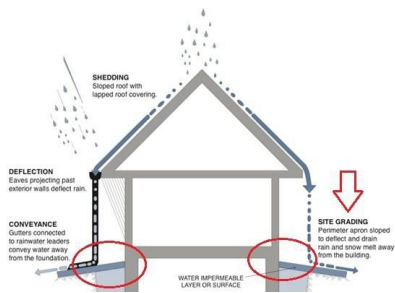
Condition: Needs Maintenance

Comments:

NM.

Low Areas And Damp Basement Walls Observed.

~General Grading Needs: The grade along the perimeter of the home is an important factor in keeping moisture away from homes and allowing water to flow away from the home's siding, sills and foundation; A plan should be implemented to upgrade the current grading along the foundation including the walk out door area if present and any planting beds of the home; Grading first with vapor barrier with stone on top should be added to allow water to flow away from the foundation and limit dirt and water splashing onto the siding of the home; The top of the stone border should be at least 6 inches below the edge of the siding when establishing the grade of 5/8th inch pitch per foot fall and/or drained to move water away from the foundation; If unseen decay is discovered in the course of grading improvements, any impacted siding will need to be addressed to include ensuring the sill and wall studs are intact behind the siding.



Trees & Shrubs

Condition: Best Practice

Comments:

BP.

~Ongoing General Tree Care: The home is surrounded by larger trees; The trees should be fully assessed by a tree professional to determine the health and structural integrity of the trees including the removal of any dead or declining trees or dead and declining branches that may fall from the living trees; It is especially important to remove tree branching overhanging roofs that may damage roofs or allow for the development of moist roof condition promoting the growth of moss and lichens on the roof surface; Tree health and integrity should be monitored especially after storm events to include heavy wind, heavy snow or ice.

~Maintain/Remove Vegetation: All vegetation within at least 2 feet of the home (6 feet is preferred) needs

to be removed; Vegetation close to homes allows moist conditions to form along the home promoting decay and algae growth as well as harboring pest that may find their way into the home.

Section 2: Exterior & Structure

Our inspection of the Exterior grounds includes the general condition of sidewalks, patios, driveways, and retaining walls adjacent to the structure. The inspection of the exterior of the building includes the cladding, trim, eaves, fascias, decks, porches, railings, doors, windows and flashings. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many foundations, and most do not represent a structural problem. If major cracks are present along with rotation, we routinely recommend further evaluation be made by a qualified professional foundation expert. All concrete slabs experience some degree of cracking due to shrinkage in the drying process or minor settlement. All items listed are inspected for their proper function, excessive wear, and general state of repair. Where snow, deck carpeting, stacked firewood, excessive vegetation, soil and other coverings are installed over decking and patio surfaces, the materials or their nature of construction and condition of the underneath these coverings cannot be determined. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Building Information

Year Constructed: 1970

Type:Single Family

Comments:

CN.

~Circa 1970's: Buyer: Lead, Asbestos, and Decay History Information; Many homes built before 1978 with minimal reconstruction work like original windows, original trim, wood clap siding and other original wood surfaces, may have paint that contains lead (called lead-based paint); In addition, homes of this age up through 1985, may have used elevated asbestos containing products in the construction of the home including textured ceiling installation; Licensed professionals are available to test and document the presence or not of these materials if desired or if reconstruction projects are undertaken and existing home materials are disturbed; Age of Home: Homes of this age have been exposed to years of varying weather and environmental conditions, construction methods, and exposure to moisture that may cause damage and rot to wood along the outside sill areas and in dirt crawlspaces that are unseen and may be discovered during reconstruction projects; If renovation work is planned after the home is purchased, your best efforts will need to be made to hire a professional building contractor to complete a review and estimate for repairs of the property before purchase.

Exterior Wall Structure

Condition: Satisfactory

Type:Wood Frame

Exterior Wall Covering

Condition: Needs Maintenance, Professional Consultation/ Further Evaluation

Type:Vinyl

Comments:

NM/PC.

~Vinyl Siding Cleaning and Maintenance: Observation of the exterior siding identified an accumulation of dirt, organic growth, and surface debris on the vinyl panels; While the siding appears in generally good condition, it is recommended that a professional exterior cleaning company be consulted to power wash the siding using manufacturer-approved detergents; This maintenance step is vital to protect the finish and maintain a clean building envelope.

~Vinyl Siding Missing: Near Propane Tanks: Missing vinyl siding pieces were observed and will need to be installed.



Eaves, Trim, Soffits, Fascia Boards and Exposed Roof Rafter Ends

Condition: Needs Maintenance, Professional Consultation/ Further Evaluation

Comments:

PC/NM.

~Repair and Paint: Aged and exposed wood and paint conditions were observed along the window and door trim, the trim fascia board below the roof drip line, and the full soffit; To maintain the optimal protection of the home in these areas, it is recommended the trim, eaves and soffits of the home be reviewed and all decay repaired and repainted; After a full initial painting, painting will need to be completed on as needed or manufactures recommended cycle dependent on the paints condition; Please note: the wall sheathing, 2X4 wall studs, rafter ends, and any area behind the trim and trim fascia boards will need to be reviewed for damage when the areas are exposed and if damage is identified those items repaired; A full review of the homes perimeter needs to be performed and the repairs completed.



Trim

Condition: Satisfactory

Windows

Condition: Satisfactory

Exterior Door(s) Condition

Condition: Satisfactory

Exterior Foundation Observations

Condition: Satisfactory

Propane Tank, Metering When Applicable, and Exterior Piping

Condition: Customer Note/ Sellers Note/ Owners Note, Safety Improvement

Comments:

CN/SI.

~Propane tanks and their associated delivery systems are considered outside the scope of a standard home inspection; It is recommended that the propane delivery company be contacted prior to the transfer of ownership to confirm the tank's lease or ownership status and to perform a comprehensive safety evaluation; This professional review should verify the condition of the tank, all interior and exterior supply lines, shutoff valves, and regulators; It is essential for the provider to confirm that the regulators have proper venting protection and that the system is appropriately shielded from falling snow or ice; All safety checks and maintenance should be documented by a certified technician in accordance with manufacturer recommendations and state safety standards before taking ownership of the system.



Deck Stairs

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Comments:

PC/SI.

~Deck Stair Stringer Attachment: Observation of the staircase identified that the stair stringers are improperly attached to the deck structure; The connection lacks the required metal connectors or specialized hardware (such as stringer hangers) to ensure a secure, load-bearing bond; It is recommended that a qualified deck contractor be consulted to install approved structural hardware to prevent the stairs from pulling away or collapsing.

~Open Stair Riser Safety: Assessment of the deck stairs identified "open risers," where the vertical space between steps is open; Modern safety standards require these gaps to be small enough so a 4-inch ball cannot pass through; It is recommended that a qualified building contractor be consulted to install riser enclosures to meet current safety requirements.

~Stairway Landing Pad: Evaluation of the staircase noted that the last step terminates onto a surface lacking a proper landing pad; It is recommended that a qualified building contractor be consulted to install a level, stable landing at the base of the stairs to ensure a uniform and safe transition when stepping off the final riser.

~Deck Stair Handrail and Guard Requirement: Observation of the deck stairs identified that the assembly consists of four risers and exceeds 30 inches in height without a functional handrail or safety guards; For

user stability and fall protection, modern safety standards require a graspable handrail and protective guards on both sides of the stairs when they reach this height; It is recommended that a qualified building contractor be consulted to install a graspable handrail and safety guards with openings no larger than 4 inches to meet current safety rules.



Deck

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Type:Wood

Construction Attachment To Home :Nailed to House

Deck:Raised: Greater Than 30 Inches In Hight From Soil Level

Railing:Yes

Comments:

PC/SI.

~Deck Structural Attachment Enhancement: Observation of the exterior deck confirmed that newer tie hardware types to the structure are missing; To further improve the connection between the deck and the house, it is recommended that a professional building contractor be consulted to install modern tension-tie hardware or approved deck ledger board screws; This enhancement is important to ensure the deck remains secure and provides long-term stability for occupant safety.

~Clean Deck Surface: Clean and Power Wash: Algae was observed on the deck surface and should be treated and power washed to remove any surface material from the deck surface; A note of caution: Pressure treated and wood deck surfaces can be very slippery when wet and have a tendency to form a very thin layer of ice in colder weather; Snow does not have to be present; Consideration in resurfacing the deck to help lessen the chance for a slip with non-slip deck materials or deck coatings may be utilized.

~Pier and Post Displacement: As a result of soil moisture and freeze and thaw cycles and missing or undersized piers, the post have moved off center; The piers, post and all bracing needs to corrected to properly carry the deck above the piers and posts and the structure reviewed to ensure all damage is repaired; It is recommended a qualified structural building professional be consulted regarding the appropriate repairs to eliminate the observation.

~Diagonal Bracing: Corner Post: No diagonal bracing was observed supporting the deck and post; Diagonal bracing provides increased structural integrity to the deck.

~Deck Ledger Flashing (Advisory): Observation of the deck-to-house connection identified that proper flashing is either missing or improperly installed; Flashing is a critical water-proof barrier (usually metal or plastic) that prevents water from getting trapped behind the deck board and rotting the house's structural framing; It is recommended that a qualified deck contractor be consulted to install (or confirm) approved flashing to ensure the connection is weather-tight and the house structure is protected from long-term water damage.



Porch(s)

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Type:Wood

Porch:Raised

Railing:No

Comments:

PC/SI.

~Porch Deck Stair Stringer Attachment: Observation of the staircase identified that the stair stringers are improperly attached to the porch deck structure; The connection lacks the required metal connectors or specialized hardware (such as stringer hangers) to ensure a secure, load-bearing bond; It is recommended that a qualified contractor be consulted to install approved structural hardware to prevent the stairs from pulling away or collapsing.

~Clean Stair Surface: Clean and Power Wash: Algae was observed on the stair surface and should be treated and power washed to remove any surface material from the surface; Consideration in resurfacing the stairs to help lessen the chance for a slip with manufactures recommended non-slip materials may be utilized.

~Stairway Landing Pad: Evaluation of the staircase noted that the last step terminates onto a surface lacking a proper landing pad; It is recommended that a qualified building contractor be consulted to install a level, stable landing at the base of the stairs to ensure a uniform and safe transition when stepping off the final riser.

~Porch Deck Stair Stringer Attachment: Observation of the staircase identified that the stair stringers are improperly attached to the porch deck structure; The connection lacks the required metal connectors or specialized hardware (such as stringer hangers) to ensure a secure, load-bearing bond; It is recommended that a qualified contractor be consulted to install approved structural hardware to prevent the stairs from pulling away or collapsing.

~Porch Stair Handrail and Guard Requirement: Observation of the porch stairs identified that the assembly consists of four risers and exceeds 30 inches in height without a functional handrail or safety guards; For

user stability and fall protection, modern safety standards require a graspable handrail and protective guards on both sides of the stairs when they reach this height; It is recommended that a qualified building contractor be consulted to install a graspable handrail and safety guards with openings no larger than 4 inches to meet current safety rules.



Section 3: Roof and Chimney(s)

The inspection of the roof system includes a visual examination of the surface materials, connections, penetrations and roof drainage systems. We examine the roofing material for damage and deterioration. The number of roof layers determination is determined by the exposed outside shingle edge and may be incorrect. Additional layers may be discovered by the roofing contractor when on the roof surface or at replacement. We examine the roof system for possible leaks, damage and conditions. We may offer opinions concerning repair and/or replacement if warranted. Opinions stated herein concerning the roofing material are based on the general condition of the roof system as evidence by our visual inspection. These do not constitute a warranty that the roof is or will remain, free of leaks. All roofing systems require annual maintenance. Failure to perform routine maintenance will usually result in leaks and accelerated deterioration of the roof covering and flashings. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection, and we cannot confirm this condition. We suggest that an annual inspection, of the Attic area, if applicable, be performed where accessible to identify if any leaks are developing or evident. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~All components of the roof to include general covering condition, leaks, flashing, roof vents, skylights, and exterior roof structure, where applicable are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Roof Style

Type:Gable, Shed

Exterior Roof Structure

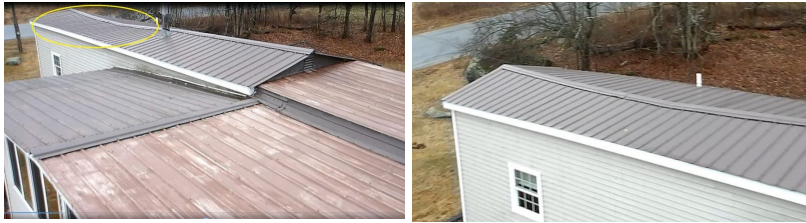
Condition: Professional Consultation/ Further Evaluation

Exterior Roof Structure Observation :Sagging Ridge Line

Comments:

CN/PC.

~Roof Ridgeline Sag: A significant sag was observed along the front portion of the roof; It is recommended the roof be professionally reviewed to determine and correct the cause of the observation to ensure the roof properly sheds rain and snow loading in the winter months.



Ridge Line Sag

Exterior Roof Covering Condition

Condition: Professional Consultation/ Further Evaluation

Metal Type:R Metal Roof Type

Comments:

PC.

~Metal Roof Surface Sealing Evaluation: Observation of the metal roof assembly identified signs of aging, including fading paint surfaces on sections of the roof; While the roofing material appeared in generally good condition, the protective finish has begun to age; It is recommended that a qualified roofing specialist be consulted to perform a review of the seams and fasteners; This professional evaluation is important to determine if the roof is a candidate for a specialized resurfacing treatment to ensure long-term weather protection of the roof surface.



Roof Side Wall and Valley Flashing

Condition: Professional Consultation/ Further Evaluation

Type:Aluminum

Comments:

PC.

~Improperly Installed Roof Flashing: Observation of the roof assembly identified that the flashing between two roof surfaces is improperly installed; Proper flashing should be installed to avoid moisture seepage over time; It is recommended that a qualified roofing contractor be consulted to review and correct the installation and properly seal the transition; This repair is necessary to ensure a watertight building envelope and prevent moisture from entering the wall cavity over time.



Roof Leak Evidence

Condition: Satisfactory

Roof Leak(s) Observed: None Observed

Viewed From: Ground, Aerial Sky Stick Camera , Interior Home

Vent Stacks/Attic Vent Covers

Condition: Satisfactory

Gutters & Downspouts

Condition: Customer Note/ Sellers Note/ Owners Note

Type: Aluminum

Extensions: No extensions

Comments:

CN/BP.

~Partially Installed: To aid in draining roof water runoff from around the home and foundation, additional gutters may be considered; Gutter type, size and strength is important in this geographic area; Gutters, downspouts and extensions need to withstand snow and ice sliding from roof surfaces and have the ability to catch and carry large amounts of water as a result of steep roof pitches.

~Existing Gutter Extensions: Missing: Extensions are important to move water away from the foundation and will need to be added.



Exterior Chimney Observations

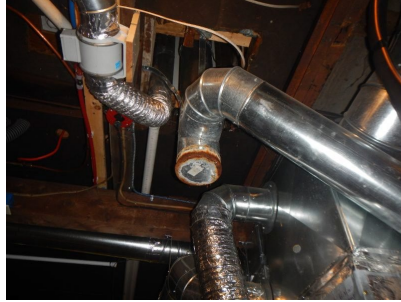
Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Type: Metal

Comments:

PC/SI.

~Basement Rust Observed: Liner and Flue Safety: Identification of the combustion gas appliance(s) confirmed the need for a professional chimney inspection and cleaning; An important maintenance and safety step is verifying the presence and condition of a proper appliance exhaust; It is recommended that the exhaust be cleaned and fully inspected by a certified technician before taking possession of the home; The installation or repair of a line is necessary to ensure the safe venting of combustion gases.



Section 5: Basement / Crawlspace/ Frost Wall/ Slab/Lower Level

Many of the building's structural elements and portions of its mechanical systems are visible inside the Basement and Crawlspace if present. These include the foundation, portions of the structural framing, distribution systems for electricity, plumbing, and heating. Each accessible and visible component and system was examined for proper function, excessive wear or abnormal deterioration and general state of repair. It is not unusual to find occasional moisture and dampness in the Basement and Crawl Space areas, and we advise annual inspections of these areas. Significant or frequent water accumulation can affect the structure's foundation and support system and would indicate the need for further evaluation by a professional drainage contractor or basement water specialist. We advise you to monitor your Basement and Crawlspace during the rainy and snow melt seasons.

Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Basement Description

Condition: Customer Note/ Sellers Note/ Owners Note

Type: Full

Access: Stairs, Exterior opening

Comments:

CN.

~Where applicable, all components of the basement/crawlspace to include the floor, columns, moisture, stairs, insulation when visible, floor joist and sub-floor where visible, and receptacles is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Clean Up and Clean Out

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Basement General Maintenance and Organization: Observation of the basement area noted an accumulation of debris and stored materials that would benefit from a general cleanup; While the visible areas appeared in generally good condition, clearing the space allows for better airflow and easier access to the home's mechanical systems; It is recommended that the basement be organized and cleaned to ensure all foundation and framing surfaces remain visible for future review; This simple maintenance step is advised to help maintain a dry and well-ventilated environment.

Moisture

Condition: Customer Note/ Sellers Note/ Owners Note

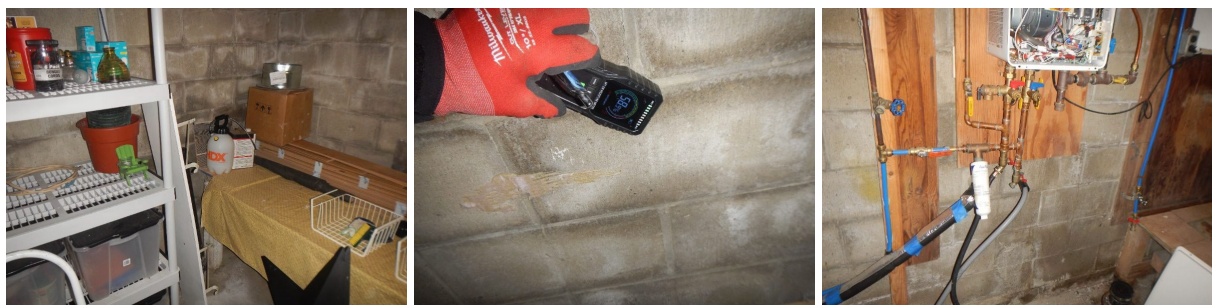
Moisture Conditions Observed: Dampness and Past Staining , Efflorescence

Comments:

CN.

~Basement Moisture and Humidity Management: Observation of the basement area detected a relative humidity level of 78%, which exceeds the ideal range of 45% to 50%; While no active leaks were present, the presence of wall dampness, past staining and efflorescence indicated current and previous moisture activity; It is recommended that proper exterior grading and gutter installation be utilized to direct water away from the foundation; Additionally, a dehumidification system, air exchange and cold water pipe insulation should be installed to manage internal humidity and reduce condensation; Should water

penetration occur during heavy rain or snowmelt; a professional basement waterproofing specialist should be consulted to evaluate further remedies to reduce its impacts.



Dehumidifier and Heat Recovery Ventilation (HRV)

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

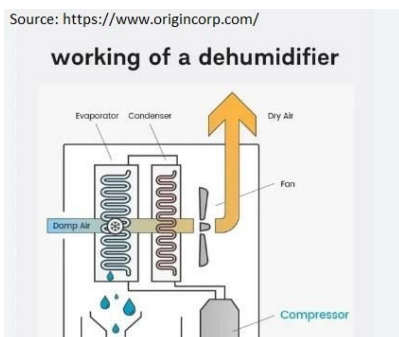
BP

Options Or Both.

~Unit Observed: Not In Use: Enhanced Dehumidifier: During the year, primarily in the summer months, ventilation and dehumidification of the basement/crawl space areas if present is recommended; Humidity levels maintained at 45% to 50% improve the overall living space conditions eliminating excess moisture generated in the basement.

~Unit Not Observed In Basement: Heat Recovery Ventilators (HRV's): Used primarily in cold climates, Heat Recovery Ventilators (HRV's) pass two air streams, one into the home from the outside and the other from inside the home to the outside reducing moisture and air impurities through filtration; To ensure optimal performance and air quality, the units will need to be maintained and operated per the manufacturer schedule to include washing of the filters, vacuuming, wiping down the units interior, and cleaning the exterior intake vents.

~It is recommended that dehumidification and air exchange be added to the basement and crawlspace after corrections to reduce moisture in the basement and crawlspace are implemented.



Basement/Crawlspace Floor Structure

Condition: Professional Consultation/ Further Evaluation

Covering Type (s):Concrete, Dirt

Comments:

CN.

~Dirt Floor Vapor Barrier and Encapsulation: Observation of the crawlspace identified a moist dirt floor that is contributing to elevated humidity levels within the basement; To mitigate moisture evaporation, it is recommended that the floor be cleared of all debris and a high-quality, durable vapor barrier be professionally installed; For maximum protection, a full encapsulation of the crawlspace—to include sealing the walls and floor—is recommended to create a conditioned, dry environment; This professional upgrade is essential to prevent organic growth, protect the floor framing from rot, and significantly improve the overall air quality of the home.



Example

Floor Drain

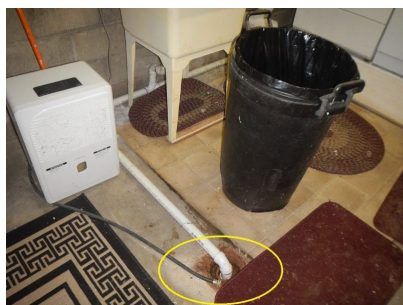
Condition: Customer Note/ Sellers Note/ Owners Note

Visibility:Visible

Comments:

CN.

~Basement Floor Drain Evaluation: Identification of the basement area disclosed the presence of a floor drain; The drain was not tested as part of the home inspection scope due to the risk of water damage if the system fails to operate; It is recommended that a licensed plumbing or septic professional be consulted to scope the line and locate the exterior discharge point; This professional review is necessary to ensure the drain remains clear of vegetation or pest obstructions; Yearly maintenance is essential to ensure the exit point remains unobstructed.



Foundation

Condition: Customer Note/ Sellers Note/ Owners Note

Type:Block

Comments:

CN.

~Exterior Foundation Repair: Observation of the foundation near the entrance identified that a repair has been performed; It is recommended that the buyer request documentation from the seller regarding the nature of the repair and any transferable warranties for the building's records.



Insulation

Condition: Customer Note/ Sellers Note/ Owners Note

Presence :Not Installed

Comments:

CN.

~Basement Insulation and Blocking Methods (Revised: March 3, 2026): Observation of the basement area noted that modern energy efficiency improvements often involve the installation of spray foam or non-papered fiberglass insulation between the first floor and the top of the foundation; In some instances, these materials are applied to all interior basement walls and wood blocking within crawlspaces to enhance thermal performance; It is recommended that a professional insulating contractor be consulted to discuss the various options and ensure that any current or future installations meet specific ventilation and fire-safety standards.

Basement Stairs / Railings

Condition: Safety Improvement

Type:Wood

Comments:

PC/SI.

~Grasp Rail Missing: Basement stairs require the installation of an approved grasp rail that can be firmly grasp the full length of the stairs at least 34 to 38 inches in height to aid individuals climbing and descending stairs; The current rail is missing and will need to be installed.

~ Non-Standard Stair Riser and Tread Ratios: Evaluation of the staircase revealed that the riser heights and tread depths (runs) are inconsistent or do not meet standard safety ratios; It is recommended that a qualified building contractor be consulted to evaluate options for bringing the staircase into alignment with modern safety standards.



Observed Structure: Rim Joist, Sill Plate, Floor Joists, Sub-Floor, Support Beams, and Columns

Condition: Professional Consultation/ Further Evaluation

Type:Conventional, Metal

Comments:

PC.

~The improperly installed block pier in the crawlspace needs to be replaced with an approved pier and post to properly support the structure over time.



Laundry Room

Condition: Safety Improvement

Dryer:Electric

Washing Machine :Not Inspected: Verification Required

Comments:

SI.

~Important Fire Protection Maintenance: Washer and Dryer Behind and Under Unit Clean-up: As an important maintenance task for fire prevention, the areas behind the washer and dryer cleaned and vacuumed of all lint, dust and objects that find their way behind the units over time; The dryer vent and all connecting venting hoses should be cleaned and if plastic vent pipes discovered replaced with metal and the termination point outside the home confirmed; The clothing washing machine plumbing and drain connections should be reviewed for proper installation and shut off ability; The clothing washing machine is not tested as part of the inspection due to the possibility of leaving water in the unit; Verification of the units

operability should be made with the seller if the unit is part of the sale.

Receptacles

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Please see Section 12: Basement/Crawlspace: Outlets, Fixtures, & Switches notes.

Section 6: Plumbing

Our Inspection of the plumbing system includes a visual examination of the exposed portions of the water supply, drain waste, vent, faucets, fixtures, valves, drains, exposed pipes, and fittings. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint connection, especially in walls, floors, and ceiling voids. A septic/sewer lateral test is necessary to determine the condition of the underground septic/sewer lines. This type of test is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, wells, well pumps, or on site and/or private water storage supply systems, off site community water supply systems, or private (septic) waste disposal systems unless specifically noted. Qualified specialist are available to perform these systems. Our inspection of the water heater includes a visual examination of the accessible portions of the tank, gas, electrical and/or water connections, venting and safety valves. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Wellhead Location and Condition

Location :Front Of Home

Condition: Satisfactory



Water Entrance Material Type

Condition: Satisfactory

Type:Plastic

Location: Basement

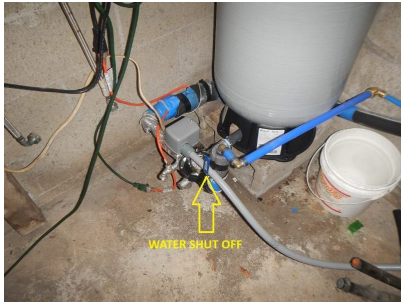
Water Service

Condition: Best Practice

Comments:

BP.

~Well: Pressure Tank, Cleanup, Cold Water Pipe Insulation and Catch-pan: If not completed, all dirt and debris and any nonessential items should be removed from around the homes water system; Condensation generated from cold water pipes and humid room conditions, common in this area, drip onto floors and drop ceilings if installed; Insulating cold water pipes and adding a drip catch pan below the well pump pressure gauge and piping area at the base of the tank will help lessen this impact.



Water Heater

Condition: Professional Consultation/ Further Evaluation

Fuel type:Propane

Water Heater Data

Extension:Missing

Location & Capacity

Location: Basement

Date Of Manufacturing : 2011

Capacity (gallons): On Demand

Comments:

PC/Sl.

~Tankless Boiler Coil Maintenance Or Filter Change: Identification of the heating system confirmed the presence of a tankless domestic hot water coil; Over time, mineral deposits can accumulate within the coil, leading to reduced water pressure and inconsistent hot water temperatures; It is recommended that a licensed plumbing or HVAC technician be consulted to perform a chemical descaling of the system and other manufacturer recommended services as a part of the general maintenance of the unit; This essential maintenance ensures proper flow and that the unit operates at peak efficiency.

~Missing Extension Pipe: The Extension pipe used to direct scalding water away from individuals in the event of a safety relief valve release and connected to the relief valve of the water heaters is missing and has to be installed within 6 inches of the floor surface.



IR Heat Tracing



Filter

Waste

Condition: Customer Note/ Sellers Note/ Owners Note

Pipe type:PVC

Septic type:Private Per Listing/Agent/Owner

Comments:

CN.

~New System: A new septic system is being installed; The contractor name, contact info and all warranties and guarantees should be provided and retained for your records.



Waste And Drain Lines Interior Basement/Crawlspace/Above The Slab

Condition: Professional Consultation/ Further Evaluation

Type:PVC

Flow rate:Satisfactory

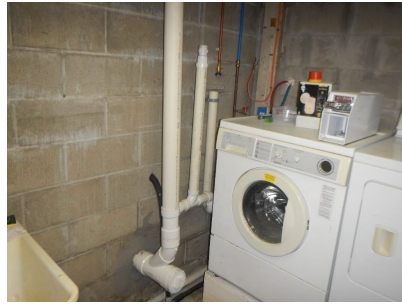
Comments:

PC.

~The clothes washing machine and basement utility sink need to be connected into the septic system.

PC.

~The function of the two PVC lines running into and out of the basement need to be traced and their identified to ensure they are properly installed for their intended use.



Interior and or Exterior Septic/Sewer Vent Stack Pipe

Condition: Satisfactory

Type: PVC

Exterior Water Faucets and Shower If Present

Condition: Customer Note/ Sellers Note/ Owners Note

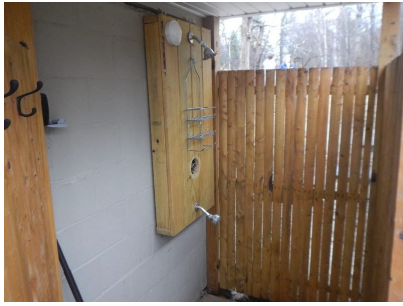
Operating: Water Turned Off Or Unit Not Operating

Comments:

CN.

~Seasonal Use: After the end of the summer season it is important to remove all hoses and shut off outside water faucets if applicable.

~The exterior shower has been winterized; After the weather warms, the unit will need to be connected and tested to ensure the unit is not leaking.



Section 7: Oil Fired Forced Hot Air Furnace

Our examination of any heating system includes a visual examination of the exposed and accessible heating equipment, thermostat, venting and the means of air distribution. Our inspection of the heating system includes activating the heating system via the thermostat and a visual examination of the accessible components listed below. These items are examined for proper function, excessive or unusual wear and general state of repair. Heat exchangers are inaccessible by design and are not part of the inspection standards of practice. They must be completely removed from the heating system type to be fully evaluated. Our inspection does not include disassembly of the heating system or determining the heating adequacy of the heating system. The inspector cannot activate heating systems where emergency switches are in the off position. The inspector does not test safety devices. To obtain maximum efficiency and reliability from your heating system, we recommend servicing of heating systems before taking possession of the unit(s) if applicable and annual servicing and inspections by a qualified heating specialist going forward. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Heating System

Condition: Professional Consultation/ Further Evaluation

Type: Forced Air

Fuel Type: Oil

Heating System Data

Furnace Date Of Manufacturing : Not Determined Label Damaged

Capacity: Not Determined

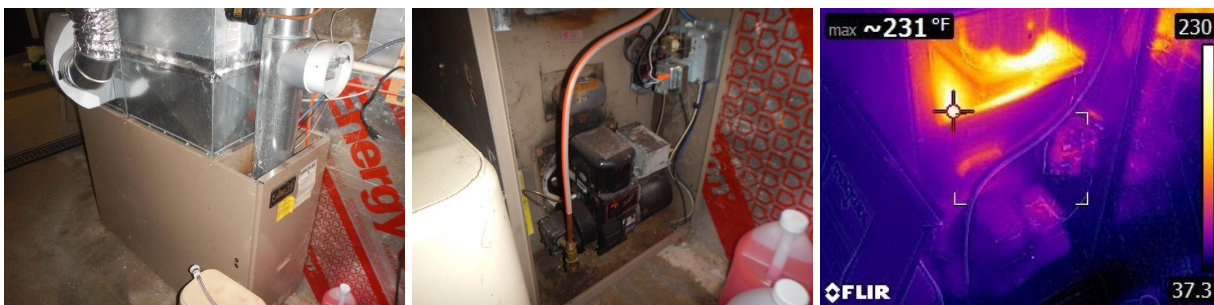
Location: Basement

Thermostat Location: First Floor

Comments:

CN/PC.

~2026 and 2027 Heating Season: Last service date tag- Not Determined: The furnace fired and ran during the inspection process; Before taking possession of the home, the furnace will need to be fully cleaned and serviced and then on a yearly basis going forward; The shroud, and all connecting pipes need to be cleaned of any debris and the interior vacuumed and the unit wiped down to eliminate dirt and debris on the furnace surfaces; Oil fired furnaces need to be serviced yearly; Some customer elect to purchase yearly maintenance or home warranty plans (if available due to the age of the unit) to cover cleaning, emergency response and repair and replacement needs if required; The current service company, local fuel delivery companies, or a web site search of home warranty programs should be contacted if a specific plan is desired.



IR Furnace Operation Heat Tracing

Oil Tank(s)

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~New Hampshire Oil Tank Service (Advisory): Observation of the heating system noted that some current New Hampshire oil tank requirements may not be met; It is important to have the oil delivery company verify the tank's condition before taking possession or switching providers; Often, companies will fail existing tanks or fill line setups when a new customer starts service; It is recommended that the oil delivery company be contacted to inspect and sign off on the tank's condition for continued delivery.



Unit Exhaust Venting

Condition: Safety Improvement

Comments:

PC/SI.

~Furnace Exhaust Condensation and Rust: Observation of the furnace exhaust venting identified visible rust and signs of condensation damage; This typically occurs when exhaust gases cool too quickly, leading to acidic water buildup that eats through the metal; Over time, this can lead to dangerous exhaust leaks or equipment failure; It is recommended that a licensed HVAC technician be consulted to replace the damaged venting and determine the cause of the condensation to prevent future rusting.



Air Filter

Condition: Customer Note/ Sellers Note/ Owners Note

Type: Disposable

Comments:

NM.

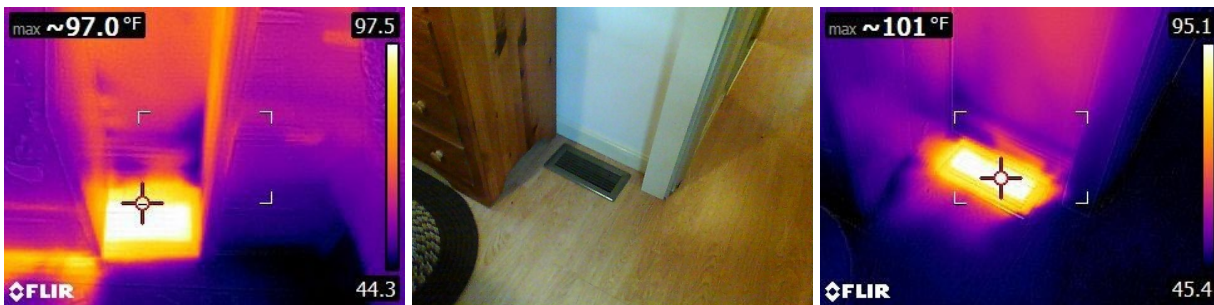
~Filter Change and Fan Housing Cleaning: Electric power to the unit will need to be turned off before any work is completed in the filter compartment of the heater; Air filters should be changed per manufacturer suggested periods to ensure proper air flow and air filtration in the home; The full space and all fan components should be cleaned and vacuumed to remove debris; Companies that will clean the ductwork of dust and danger and debris accumulated over the years in the duct work are available.



Heat Distribution

Condition: Satisfactory

Type: Ductwork



Humidifier

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Humidifier Maintenance and Service: Observation of the heating system identified an attached humidifier unit; Humidifiers require regular upkeep, such as cleaning and filter replacement, to prevent mold growth and ensure they work efficiently; It is recommended that a licensed HVAC technician perform a full service on the unit in accordance with the manufacturer's specifications to confirm it is operational.



Section 7: Cooling

This is a visual inspection limited in scope by (but not restricted to) the following conditions: Window and/or wall mounted air conditioning units are not inspected. The cooling supply adequacy or distribution balance are not inspected. Pressure tests on coolant systems are not within the scope of this inspection; therefore no representation is made regarding coolant charge or line integrity. Judgment of system efficiency or capacity is not within the scope of this inspection. Cooling systems are not dismantled in any way and secured access covers are not removed. The interior components of evaporators, condensers and heat pumps are not viewed. The interior conditions of cooling components are not evaluated. The presence of leaking refrigerant lines, heat pump oil, etc., is outside the scope of this inspection. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Cooling System Service

Condition: Customer Note/ Sellers Note/ Owners Note, Professional Consultation/ Further Evaluation

Status:Not tested

AC Unit Data

Date Of Manufacturing : 2010

Capacity: 1.5 Tons

Location:Rear Of Home

Last Service Date: Not Determined

Comments:

CN/PC.

~Circuit Breaker In The Off Position: Low Temperature Cooling System Limitation: Examination of the AC system revealed that the unit could not be tested in cooling mode because the outdoor temperature was below 60 degrees Fahrenheit; Testing in cold weather is avoided because the lubricating oil in the system thickens, which can lead to serious damage to the compressor or other internal parts.

~Central Air Conditioning Maintenance: Review of the central air system revealed no record of the last service date; Because yearly maintenance is vital for the system's longevity and performance, it is recommended that a heating and air conditioning service company be contacted to fully service the unit to include the interior evaporative coil system to ensure the system is operating a full efficiency before you take possession of the system.



Section 8: Interior

Our inspection of the Interior includes a visual inspection of the readily accessible portions of the walls, ceilings, floors, doors, cabinetry, countertops, steps, stairways, balconies and railings. Please note that a representative sample of the accessible windows and electrical receptacles are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of furnishings and personal items. In these cases some of the items may not be inspected. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather, and lighting conditions. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Where applicable, all components of the interior to include floor structure, ceilings, interior doors, moisture damage, windows, and stairs are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Ceilings

Condition: Satisfactory

Walls

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

PC.

~Manufactured Home Hallway Width: Observation of the interior identified a hallway width of approximately 24 inches; Federal HUD standards for manufactured homes generally require hallways to be a minimum of 28 to 30 inches wide to ensure safe passage and emergency exit; This narrow 24-inch space can restrict movement, make it difficult to move furniture, and limit accessibility for those using mobility aids; It is recommended that a qualified building contractor experienced with manufactured homes be consulted to evaluate the hallway for widening to meet current safety standards.

Interior Doors

Condition: Satisfactory

Windows

Condition: Customer Note/ Sellers Note/ Owners Note

Type:Single hung, Sliding

Material:Vinyl

Glass Properties:Insulated glass

Comments:

CN/PC.

~Vinyl Window Condition and Maintenance: Observation of the vinyl window systems confirmed that the units are in generally good condition; However, a failed insulation seal was noted on one window, and damaged or missing screens were observed on several others; It is recommended that a professional window renewal company be consulted to perform a full cleaning, lubrication, and evaluation of these items to ensure the windows are in good operating order.

Interior Floor Structure

Floor Structure Condition: Does Not Include Floor Covering Types Condition To Include Cracks, Finish, Separation, Wear and Tear, Stains, Etc (not in inspection scope): Satisfactory
Floor Covering Types:Laminate

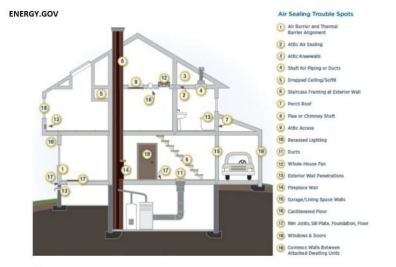
Energy Savings Tip: Air Sealing

Condition: Best Practice

Comments:

BP.

~Source: Energy.gov: "Reducing the amount of air that leaks in and out of your home is a cost-effective way to cut heating and cooling costs, improve durability, increase comfort, and create a healthier indoor environment; Caulking and weather-stripping are two simple and effective air-sealing techniques that offer quick returns on investment, often one year or less; Caulk is generally used for cracks and openings between stationary house components such as around door and window frames, and weather-stripping is used to seal components that move, such as doors and operable windows;" Properly sealing wall light switches and electrical receptacles is another area for improved air sealing.



Full Home Energy Audit

Condition: Best Practice

Comments:

BP.

Please Contact Your Electric Utility Provider.

~A home energy audit, also known as a home energy assessment, can help you understand the whole picture of your home's energy use; An audit can help you determine how much energy your home uses, where your home is losing energy, and which problem areas and fixes you should prioritize to make your home more efficient and comfortable; A home energy audit should be your first step before making energy-saving home improvements, as well as before adding a renewable energy system to your home.

Moisture

Condition: Satisfactory

Section 9: Kitchen(s)

Inspection of ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection to inspect below or behind them. Portable dishwashers are not inspected, as they require connection to facilitate testing and are sometimes not left with the home. Some kitchens with private septic systems are outfitted with garbage disposals. The use of garbage disposals in general and type of garbage disposal should be discussed with the septic professional to determine the impact of garbage disposal use and the long term impact on the septic system. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Location : First Floor

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Where applicable, all components of the kitchen to include the cabinets, counters, dishwasher (start and drain), disposal, flooring, microwave, moisture, range/oven, refrigerator, sink and ventilation is inspected: The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Cabinets

Condition: Needs Maintenance

Comments:

NM.

~Cabinets and Drawers: Adjustments; To maintain the life expectancy of the cabinets, adjustments and tightening the cabinet doors, and drawer fronts/slides should be made to properly operate the cabinets.

Counters

Type:Laminate

Dishwasher

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Not Installed.

Ventilation

Fan Vents to:Interior

Refrigerator

Ice Maker :Ice Maker Installed But No Ice Present

Receptacles

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Please see Section 12: Kitchen: Outlets, Fixtures, & Switches notes.

Section 10: Bathroom 1

Our inspection of the bathrooms included a visual examination of the readily accessible portions of the floors, walls, ceilings, cabinets, countertops, and plumbing fixtures. Bathrooms are inspected for water drainage, damage, deterioration to floor and walls, proper function of components, active leakage, unusual wear and general state of repair. Bathroom fixtures are run simultaneously to check for adequate water flow and pressure. Fixtures are tested using normal operating controls. Vent fans and their ductwork are tested for their proper operation and examined where visible. Shower pans are visually checked for leakage but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain all grout and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Location: First Floor Hallway

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

First Floor Level.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, showers, GFCI's, moisture, and flooring is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Bathtub

Type:Built-in

Shower

Type:Fiberglass

Receptacles

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Please see Section 12: Bathroom(s): Outlets, Fixtures, & Switches notes.

Floor

Type:Vinyl (Linoleum)

Section 12: Electrical

Our examination of the electrical system includes a visual examination of the exposed and accessible branch circuits, wiring, service panel, overcurrent protection devices, lighting fixtures, switches, and receptacles. Service equipment, proper grounding, and wiring methods. We inspect for adverse conditions such as improper grounding, over fusing, exposed wiring, open air wire splices, and defective GFCI's. The hidden nature of the electrical wiring prevents inspection of every length of wire or their connections. Telephone, video, cable, audio, security systems and other low voltage systems were not included in this inspection. Any electrical repairs need to be completed by a licensed electrician. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection. Smoke Alarms should be installed per state requirements and maintained and changed per manufacturer recommendations to include monthly testing. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Service Entrance

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Volts: 120/240

Type: Overhead, Underground

Capacity: 100

Location: Front Of Home On Pole

Comments:

SI.

~Deteriorated/Damaged Sheathing And Rusted Connections: The protective cover installed on the service entrance cable has deteriorated allowing weather to penetrate the meter panel and may impact the electrical service over time; The local utility should be contacted to determine responsibility including the full inspection of the utility sealed interior meter panel to ensure rust and corrosion has not damaged the internal connections.



Generator

Condition: Best Practice

Comments:

BP.

~Electricity Dependent Systems: Where Applicable: As a result of the systems used to support the day-to-day functions of this home to include home office(s), water, septic, internet, lights, and heat in the winter, combined with a large tree population and severe winter temperatures and summer storms, the installation of some form of back-up generation may be considered to eliminate the impacts associated with no electricity for extended periods of time.

Main Panel(s)

Condition: Safety Improvement

Location: Basement

Volts:120/240

Capacity:100 A

Type and Presence :Circuit-breakers, AFCI Breaker(s) Not Present

Panel Manufacturer (s) :Murray

Subpanel Designation :No

Properly Grounding & Bonding

Grounding:Grounded

Comments:

SI.

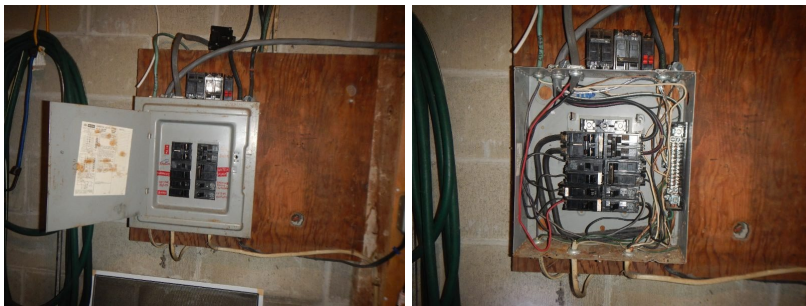
~New construction requirements are in place, and the electrical panel will need to be reviewed by a Licensed Electrician to perform the identified recommendations or other repairs identified by them in their assessment; In some cases, a need to upgrade the panel will be made based on the ability of the panel to accommodate the identified recommendations.

~ Circuit Labeling and Verification: It is recommended that the labeling be professionally updated to accurately reflect the current use of all areas in the home; Proper labeling is essential for safety during maintenance and in the event of an emergency.

~AFCI Circuit Protection Recommendation: It was noted that the panel lacks Arc-Fault Circuit Interrupter (AFCI) protection; Current safety standards require AFCI protection for nearly all 15 and 20-amp branch circuits in residential living areas, including bedrooms, living rooms, and hallways; It is recommended that these specialized breakers be installed to enhance the fire safety of the home's electrical system.

~Panel Wiring Organization: It was noted during the inspection that the wiring leading into and inside the electrical panel is poorly organized and needs to be properly separated and secured; A licensed electrician should reorganize the wiring to ensure all conductors are properly managed and terminated.

~Surge Protection for Sensitive Equipment: Evaluation of the electrical system revealed that a Surge Protective Device (SPD) is currently missing; Modern homes contain sensitive electronics and appliances that are vulnerable to high-voltage spikes; It is recommended that a whole-house surge protector be installed within the panel to mitigate the risk of damage from external power surges.



Wiring Methods Observed In The Structure

Type of wiring:Non-Metallic Sheathed Cable

Sub Panel

Condition: Safety Improvement

Location: Basement

Volts:240 - 120V

Capacity:60 A

Type and Presence :Circuit-breakers, AFCI Breaker(s) Not Present

Panel Manufacturer (s) :Square D

Properly Grounding & Bonding

Grounding:Not Grounded Properly

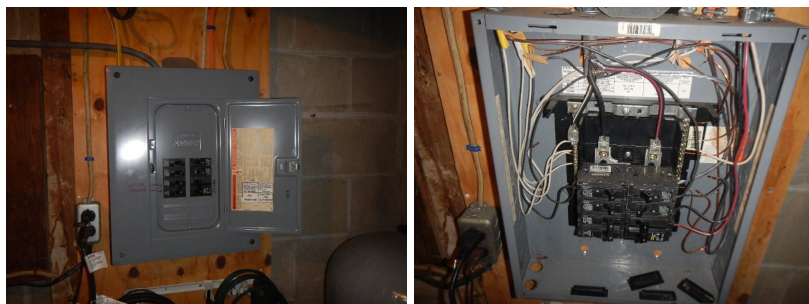
Comments:

SI.

~ Sub-Panel Wiring Designation: This entry refers to the sub panel electrical panel, which requires rewiring to meet sub-panel configuration standards; Because the primary service disconnect is located at the exterior meter, the interior panel must be isolated according to sub-panel rules; The specific requirements for separating the neutral and ground conductors must be determined and corrected by a licensed electrical contractor to ensure the system is safe and code-compliant.

~ Circuit Labeling and Verification: It is recommended that the labeling be professionally updated to accurately reflect the current use of all areas in the home; Proper labeling is essential for safety during maintenance and in the event of an emergency.

~AFCI Circuit Breaker Protection Recommendation: An arc-fault circuit interrupter (AFCI) also known as an arc-fault detection device (AFDD) is a circuit breaker that breaks the circuit when it detects an electric arc in the circuit it protects to prevent electrical fires; AFCI protection is currently required for new construction of all 15 and 20 amp branch circuits providing power to outlets in residential family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and similar rooms or areas.



General Observation(s): Outlets, Fixtures, and Switches

Condition: Safety Improvement

Testing Information

Testing Method: GFCI Test Light

Outlets Tested For

- Reverse polarity
- Non-GFCI
- Ungrounded

Comments:

SI.

~Electrician Walkthrough and Repair: Home, Garage, and Outbuildings If Present: Commonly found in most properties and sometimes as a result of limited observation due to items and furniture in the home, a room by room and area review will need to be completed; Any missing/ damaged light fixtures, light switch and plug covers, improperly terminated or loose wires, or missing junction box covers installed and not identified during the inspection will need to be repaired.

~Where Applicable: All GFCI to include exterior outlets, AFCI outlets and circuits will need to be tested at move in and ongoing per manufactures recommend intervals to ensure the outlets and circuits trip and reset properly.

~Licensed Electrician: All repairs will need to be performed by a licensed electrician.

Exterior: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Missing: GFCI Exterior Missing: No Exterior GFCI Plugs Installed: For safety and convenience purposes GFCI protected outlets and covers will need to be added to the exterior front, rear and deck of the home.

~Decks: Exterior stairways require the installation of an artificial light source located at the top and bottom of the stairs to fully illuminate the stairway and controlled from within the home; It is recommended a review of the deck lighting be performed after hours to determine the correct placement of the lights to determine the stairways are properly lighted.

Detached Structure/Shops/Pool Houses/Greenhouses Fixtures and Switches

Condition: Safety Improvement

Comments:

SI.

~Out Building(s) Not Inspected: The building(s) were not inspected as part of this inspection package; It is important to have a licensed electrician review the structures to ensure the outbuildings are properly protected if power is present to the buildings.

Basement/Crawlspace: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

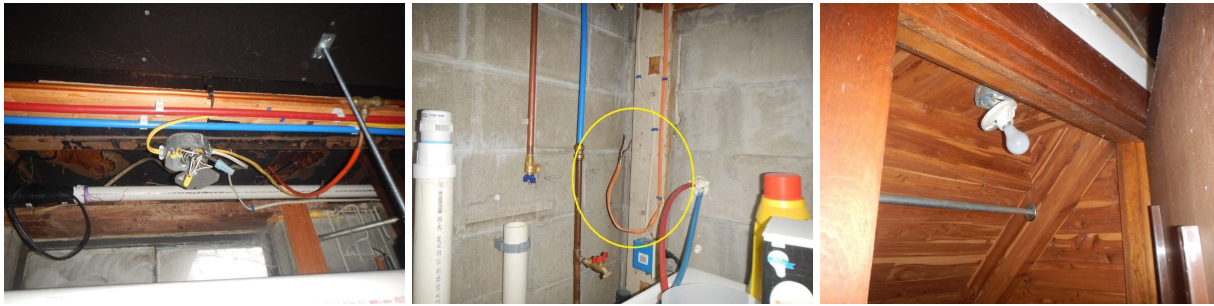
~ Basement and Finished Space GFCI Protection: Evaluation of the basement revealed a lack of Ground Fault Circuit Interrupter (GFCI) protection; Current safety standards identifies receptacles in below-grade, unfinished, and finished areas to be GFCI protected to mitigate the risk of electrical shock; It is recommended that a licensed electrical contractor be consulted to evaluate the installation of GFCI devices for all required basement circuits.

~Improperly Terminated Wiring: Evaluation of the electrical system revealed wires that are not properly terminated; It is recommended that a licensed electrician be consulted to evaluate these locations and install approved junction boxes and covers where required; This will ensure all wiring is properly protected and secured according to safety standards.

~Basement Stairwell Lighting Missing: Basement home stairwells need to be properly lighted and have the ability to be turned on and off from both the bottom and top of the stairs.

~Open Junction Boxes: Basement Wall: An open junction box(s) was observed and needs to be properly covered.

~Th closet light needs to be properly installed to include the addition of a bulb cover.
~Floating Wire(s): All conductors need to be properly secured; Floating wires were observed and need to be corrected with approved staples or holders.



Plumbing: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Heat Tape/Cable Use: Heat cabling was observed in use in the basement leading into the wall space; Heating tape/cables are not in the inspection scope; It is important to confirm that the units are operational for the winter season and installed per manufactures recommendations.



Laundry: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Laundry Area GFCI Protection: Evaluation of the laundry room revealed that the outlets serving the appliances (to include the dryer) do not appear to have Ground Fault Circuit Interrupter (GFCI) protection; It is recommended that a licensed electrician be consulted to evaluate the circuit and install GFCI protection as needed; This upgrade is suggested to enhance safety in areas where water and electrical components are in close proximity.

Kitchen: Outlets, Fixtures, & Switches

Comments:

SI.

~Not Installed: GFCI Kitchen: All receptacles along all counter-top areas require and were tested for GFCI protection; The plugs did not trip when tested indicating a lack of ground fault circuit interruption protection; A full review of all the plugs needs to be performed after the repairs are completed.

Bathroom(s): Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~GFCI Protection Near Sink: Observation of the bathroom identified that there is no Ground Fault Circuit Interrupter (GFCI) protected outlet within 3 feet of the sink; Modern safety standards require GFCI protection near all water sources to prevent electrical shock; It is recommended that a licensed electrician be consulted to install a GFCI outlet to meet current safety requirements.

Smoke and CO Detection

Condition: Safety Improvement

Comments:

SI.

~Smoke and Carbon Monoxide Detection Compliance: Evaluation of the home's detection systems was limited to a visual confirmation of presence as units are not removed or tested during this inspection; It is recommended that a qualified professional be consulted prior to taking possession to verify the location, age, sensor type—specifically the use of ionization and photoelectric technology—and whether the units are hard-wired or battery-operated; The professional should confirm if CO detection is present or missing in current units and ensure the system meets State Fire Marshal standards; Any units exceeding ten years of age should be replaced and a maintenance schedule established for weekly testing and regular battery replacement.

Current Status.

~Full Review And Upgrade.

~Smoke: Missing In Bedrooms And Basement

~CO: Missing In Basement

~NH: Install Per The Rules Found At New Hampshire Division of Fire Safety Site:

<https://www.concordnh.gov/DocumentCenter/View/16411/2020-05-Smoke-Detector-devices-in-Dwellings>

and <https://mm.nh.gov/files/uploads/fmo/remote-docs/2020-06-carbon-monoxide-devices.pdf>

~Additional National Fire Protection Association Smoke Detection Information Link:

<https://www.nfpa.org/education-and-research/building-fire-safety/smoke-alarms/installing-and-maintaining-smoke-alarms>

~Additional National Fire Protection Association CO Detection Information Link:

<https://www.nfpa.org/education-and-research/building-fire-safety/carbon-monoxide>



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