



River Valley Home Inspections LLC

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It was a pleasure completing your property inspection. As you will read, the inspection report consists of a detailed list of observations of different components and elements present in and outside the property with photographs of the property.

I have identified areas of the property that will need to be addressed to ensure the safety, proper operation and function of those components. I recommend you obtain consultation from competent trade specialists as an aid in planning your future course of action for such elements listed in this report. Additional reportable elements may be discovered during property repairs and upgrading.

Please feel free to contact me with any additional questions you may have concerning the report content. It has been a pleasure to serve your property inspection needs.

Thank You,
Dave

David M. DeSimone
River Valley Home Inspections LLC
Board Certified and Licensed in New Hampshire and Vermont

This report is solely for the benefit of the Client. Any person or party designated by the Client to receive information in this report shall be subject to all Terms and Conditions contained herein and in the signed Inspection Agreement.

REPORT DEFINITIONS

Your professionally prepared inspection report is divided into twelve to thirteen sections. Each section contains individual elements that are inspected during the inspection process. Each element is identified by one of seven rating types describing their condition. New Hampshire and Vermont allows for the construction and repair of properties without building permit requirements and building inspection oversight in many areas of both states. The inspection report is not a code enforcement document.

The six rating types include:

- ~ Satisfactory: Satisfactory notes the generally accepted working condition of the item identified in the report at the time of the inspection where observed.
- ~ BP: Best Practice: The use of the Best Practice notation is used to identify forms of construction and methods associated with good building and maintenance practices.
- ~ NM: Needs Maintenance: Items identified as Needs Maintenance are normally less serious and do not pose an immediate problem but will need to be corrected to ensure the life of the identified item.
- ~ PC: Professional Consultation: Conditions that are identified as Professional Consultation note a condition that will require further evaluation by a competent or licensed trade specialist trained in the specific area of expertise.
- ~ SI: Safety Improvement: Safety Improvement notes designate home/building construction observations that have improved the general safety of homes and buildings over time and will need to be addressed as a priority for repair/modification.
- ~ CN/SN/ON Customer Note/ Sellers Note/ Owners Note: Customer, Sellers and Owners notes will designate general information important for your awareness and knowledge.

For Your Information: Important Customer Note:

~Building code compliance is not a part of the inspection protocol. "Building code requirements generally apply to the construction of new buildings and alterations or additions to existing buildings, changes in the use of the building, and the demolition of buildings or portions of buildings at the ends of their useful lives. As such, building codes obtain their effect from the voluntary decisions of property owners to erect, alter, add to, or demolish a building in a jurisdiction where a building code applies, because these circumstances routinely require a permit. The plans are subject to review for compliance with current building codes as part of the permit application process. Generally, building codes are not otherwise retroactive except to correct an imminent hazard." Source: International Building Code

~Home inspections in NH and VT are not code inspections. As a home inspector in New Hampshire and Vermont, I am not performing a code compliance inspection. Building codes change frequently, vary by jurisdiction, and are enforced only by the Authority Having Jurisdiction (AHJ), such as the town building inspector or State Fire Marshal's Office. However, I do use building codes, industry standards, and best practices as reference points to help explain why a condition may be unsafe, outdated, or not functioning as intended at the time of the inspection.

~Building Permits; The requirement to obtain construction permits varies from town to town throughout New Hampshire and Vermont. Many towns do not require construction permits and owners and contractors are on their own in constructing projects for the property. The requirement of obtaining proof of past permits is not part of the inspection process due to the variability, changing requirements and the nature of permits in general in Vermont and New Hampshire. I strongly recommend that you ask the question and research the requirements with the town where you are purchasing or selling your property if renovations like basement finishing, additions, or other major modifications have been performed. If permits are required, proof of the permit and all subsequent inspections, sign-offs and the close of the permit should be supplied to you or kept on record.

~Water Body and Features: The presence of or proximity to water bodies—including but not limited to lakes, ponds, rivers, streams, or koi ponds—is outside the scope of this home inspection; These features may be located on the property or adjacent to it, and in some cases, may not be visible from the primary dwelling due to property size or vegetation; If present, the evaluation of their safety, structural integrity, depth, water quality, or maintenance requirements is not performed; It is advised that the buyer perform independent due diligence to identify all water features and consult with a qualified specialist for a full safety and risk assessment.

Client Information:

Property Information:

Summary

Section 1: Site Grounds & Grading

Inspection Information

Date Of Inspection: 6/12/2026

Weather: 81 Degrees

Square Feet Inspected: 2,352

Driveway

NM.

~Gravel Driveway Maintenance: Observation of the gravel driveway identified areas of thinning material; It is recommended that a qualified landscape contractor be consulted to regrade the surface to allow water to shed to the sides; Additionally and where required, a fresh stone top-dressing should be applied and compacted to ensure a stable, long-lasting driving surface.

Primary Use Entrance Point Step/Stair To Home

SI.

~Missing Primary Entrance Landing: Observation of the primary entrance identified that the step lacks a proper landing; It is advised that a qualified building contractor perform a professional review to explore options for installing a landing; Ensuring a level landing at the door is important to meet current building standards and provide a safe transition into the home.

Other Entrance Point(s) Step/Stair To Home

SI.

~Exterior Stair Riser Height Safety: Observation of the stone stairs noted a tall riser height, likely caused by settlement of the stone step; It is necessary for a qualified mason or hardscape specialist to reset the stones and level the surface to eliminate this discrepancy; Correcting the riser height is important to remove a tripping hazard and to ensure the stairs provide a safe and uniform transition.

Sidewalks / Walkways

SI.

~Stone Walkway Maintenance: Observation of the stone walkways identified uneven surfaces and settled stones; These conditions can create trip hazards and affect drainage; It is recommended that a qualified contractor be consulted to review and level the walkways to ensure a safe and stable path.

Retaining Walls and Slopes

SI/PC.

~Retaining Wall Guardrail Missing: Observation identified a retaining wall drop-off that lacks a safety guardrail or protective barrier; This unprotected drop creates a fall hazard, particularly at night or during low-light events; It is recommended that a qualified contractor evaluate the area and install an approved guardrail system to ensure occupant safety.

~Stone Retaining Wall Movement: Observation identified areas where the stone wall is leaning or shifting forward over time; This condition is caused by soil pressure and frost heaving due to poor drainage behind the stones, which traps moisture and creates pressure; It is recommended that a qualified mason or contractor excavate behind the wall, reset the stones, and install proper backfill and drainage systems to divert water away from the wall.

Grading At House Wall

NM.

~Ongoing General Grading Needs: The grade along the perimeter of the home is an important factor in keeping moisture away from home and allowing water to flow away from the home's siding, sills and foundation to include the area at the lower entrance door; A plan should be implemented to upgrade the current grading along the foundation: Grading first with vapor barrier with stone on top should be added to allow water to flow away from the foundation and limit dirt and water splashing onto the siding of the home; The top of the stone border should be at least 6 inches below the edge of the siding when establishing the grade of 5/8th inch pitch per foot fall and/or drained to move water away from the foundation.

Trees & Shrubs

NM.

~Ongoing General Tree Care: The home is surrounded by larger trees; The trees should be fully assessed by a tree professional to determine the health and structural integrity of the trees including the removal of any dead or declining trees or dead and declining branches that may fall from the living trees; It is especially important to remove tree branching overhanging roofs that may damage roofs or allow for

the development of moist roof condition promoting the growth of moss and lichens on the roof surface; Tree health and integrity should be monitored especially after storm events to include heavy wind, heavy snow or ice.

~Maintain/Remove Vegetation: All vegetation and tree branches within at least 2 feet of the home (6 feet is preferred) needs to be removed; Vegetation close to homes allows moist conditions to form along the home promoting decay and algae growth as well as harboring pest that may find their way into the home.

Landscape Stairs

SI.

~Front Landscape Stairs and Handrail Replacement: Observation identified that the front concrete landscape stairs are in poor condition with cracking and fractures caused by age and freeze-thaw cycles; The stairs feature inconsistent riser and tread ratios and require full reconstruction to ensure safe footing; Additionally, an approved handrail system must be installed to prevent fall hazards; It is recommended that a qualified contractor reconstruct the concrete stair assembly and install a secure handrail system.

Section 2: Exterior & Structure

Building Information

CN.

~Circa 1960's: Lead, Asbestos, and Decay History Information; Many homes built before 1978 with minimal reconstruction work like original windows, original trim, wood clap siding and other original wood surfaces, may have paint that contains lead (called lead-based paint); In addition, homes of this age up through 1985, may have used asbestos containing products in the construction of the home including textured ceiling installation; Licensed professionals are available to test and document the presence or not of these materials before the purchase of the home or if reconstruction projects are undertaken and the existing home materials are disturbed; Age of Home: Homes of this age have been exposed to years of varying weather and environmental conditions and construction that may be found during renovation or upgrade projects; In some homes, construction methods and exposure to moisture will cause damage and rot to wood along the outside sill areas and in dirt crawlspaces that are unseen and will be discovered during reconstruction projects; If renovation work is planned after the home is purchased, your best efforts will need to be made to hire a professional building contractor to complete a review and estimate for repairs of the property before purchase.

Propane Tank, Metering When Applicable, and Exterior Piping

CN/SI.

~Propane tanks and their associated delivery systems are considered outside the scope of a standard home inspection; It is recommended that the propane delivery company be contacted prior to the transfer of ownership to confirm the tank's lease or ownership status and to perform a comprehensive safety evaluation; This professional review should verify the condition of the tank, all interior and exterior supply lines, shutoff valves, and regulators; It is essential for the provider to confirm that the regulators have proper venting protection and that the system is appropriately shielded from falling snow or ice; All safety checks and maintenance should be documented by a certified technician in accordance with manufacturer recommendations and state safety standards before taking ownership of the system.

Deck Stairs

SI.

~Stairway Landing Pad: Evaluation of the staircase noted that the last step terminates onto a surface lacking a proper landing pad; It is recommended that a qualified building contractor be consulted to install a level, stable landing at the base of the stairs to ensure a uniform and safe transition when stepping off the final riser.

~Deck Stair Handrail Requirement: Observation of the deck stairs identified that the assembly consists of four risers and lacks a properly installed graspable handrail; It is recommended that a qualified building contractor be consulted to install an approved handrail to ensure occupant safety.

Deck

SI.

~Deck Guardrail and Fixed Seating Safety: Observation identified that built-in bench seating is installed along the deck perimeter, creating a fall hazard as the seating acts as a platform; It is recommended that a qualified contractor evaluate the deck seating and perimeter barriers to perform necessary modifications that meet current safety and deck construction standards.

~Deck Structural Attachment Enhancement: Observation of the exterior deck confirmed that newer tie hardware types to the structure are missing; To further improve the connection between the deck and the house, it is recommended that a professional building contractor be consulted to install modern tension-

tie hardware or approved deck ledger board screws; This enhancement is important to ensure the deck remains secure and provides long-term stability for occupant safety.

Deck/Patio Awning

CN.

~Awning Verification: Full Opening: The deck awning installed on the rear deck is not fully opened as part of the inspection scope; While the mechanical portion of the awnings appears to be in good order, it is important to have the awning(s) opened fully and verified that the mechanical operation and full covers are in good condition with no damage.

Section 3: Roof and Chimney(s)

General Observations

CN.

~All components of the roof to include general covering condition, leaks, flashing, roof vents, skylights, and exterior roof structure, where applicable are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Exterior Roof Covering Condition

PC.

~Standing Seam Galvanized Metal Roof Aging: Observation identified that the standing seam galvanized metal roof is in generally good condition but showing signs of wear and surface damage from age and weather impacts; Options to clean, reseal, and recoat the roof panels should be explored to extend the life cycle of the roof covering; It is recommended that a qualified roofing contractor evaluate the installation and perform necessary restoration maintenance.

Gutters & Downspouts

CN.

~Gutter and Drainage Considerations: Installing a gutter system should be considered to direct roof runoff away from the foundation; Due to regional winter weather and potential snow slides, any future system must be engineered with high-strength materials and proper sizing; It is recommended that a professional gutter contractor be consulted to design and install a system that safely moves water away from the home.

Exterior Chimney Observations

PC.

~Chimney and Exterior Masonry Maintenance: Observation of the chimney exterior confirmed that the masonry surfaces and crown require professional attention; It is recommended that a certified chimney sweep or mason be consulted prior to taking possession to perform a full interior and exterior evaluation; This service should include pointing of the mortar joints, cleaning, and waterproofing the brickwork to verify the integrity of the flue liner, flashing, and crown to ensure the system remains safe and watertight.

Interior Basement And Attic Chimney Observations

SI.

~Wood Forms In Place: Observation of the structure below the fireplace identified the presence of original wood construction forms; Wood forms are not permitted below fireplace fireboxes or hearths because they create a fire hazard; It is recommended that a professional chimney sweep be consulted during the chimney inspection to evaluate the area and perform the necessary removal of these materials; This professional correction is crucial to ensure the fireplace system is safe for use.

~Boiler Flue and Chimney Integrity: Assessment of the boiler venting system confirmed that a professional chimney inspection and cleaning are necessary maintenance requirements; It is recommended that a certified chimney sweep be consulted to perform a comprehensive evaluation of the flue prior to taking ownership; This professional review should determine the condition of the liner and identify any necessary repairs or installations required to ensure the system is venting safely and effectively.

~Shared Chimney Flue Venting: Observation identified that the boiler and wood stove appear to be venting into the same chimney flue; Sharing a single flue with multiple appliances, especially solid fuel and gas/oil equipment, creates an unsafe venting condition and a potential fire or carbon monoxide hazard; It is recommended that a qualified chimney professional or licensed heating contractor evaluate the installation to confirm the flue configuration and perform necessary corrections to separate the venting systems prior to use.

~Chimney Efflorescence (Attic Space): Observation identified efflorescence (white mineral deposits) on the exterior of the block chimney within the attic space; This condition indicates that moisture is migrating through the masonry structure, which can lead to deterioration over time; It is recommended that a

qualified chimney professional or mason evaluate the chimney structure to determine the source of the moisture entry and complete necessary repairs.

Section 4: Garage

Garage General Observations

CN.

~Where applicable, all components of the Garage to include the floor, garage doors, openers, separation walls and doors, stairs and electrical is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Moisture

CN.

~Garage Corner Moisture and Dampness: Observation identified dampness and moisture accumulation in the corners of the garage structure; It is recommended that a qualified contractor evaluate the area to determine the exact cause of the water intrusion and complete necessary corrections to eliminate the moisture and ensure a dry space.

Dwelling-Garage Separation Door(s) and Attic Access Panels To Attic and Living Space

SI.

~Fire-Rated Garage Entry Door: Observation identified that the entry door between the garage and living space lacks required fire-rated characteristics and self-closing hardware; These doors must be free of unapproved windows or pet openings; It is recommended that a qualified contractor install an approved fire-rated door assembly and self-closing hardware to meet current building standards and ensure proper separation safety.

Dwelling-Garage Separation Wall, Ceiling Adjacent, Penetrations To Adjoining Living Space

SI.

~Garage Fire Separation and Penetrations: Observation of the garage identified that the walls, ceilings, and doors adjoining the living space or attic are not properly sealed for fire protection; All shared surfaces, including access hatches and pull-down stairs, require taped sheetrock or other approved fire separation methods to slow the spread of flames and fumes; In addition, any penetrations such as ductwork, electrical lines, or pipes must be properly fire-stopped and approved fire doors fully trimmed; It is recommended that a qualified building contractor be consulted to install the correct materials and thickness conforming to all safety building construction requirements.

Flooring

NM.

~Garage Floor Crack Filling and Sealing: Observation of the garage floor identified cracking and surface wear; It is recommended that a qualified contractor professionally fill all cracks and apply a high-quality sealant or coating; All work should follow manufacturer recommendations to protect the concrete and ensure long-term durability.

Floor Drain

CN.

~Garage Floor Drain Maintenance: Survey of the garage noted a floor drain(s) that was not functionally tested during this evaluation; It is recommended that the drain be flushed and cleared of debris annually as part of a regular maintenance routine to include the exit point of the drain; Homeowners should verify local municipal or insurance requirements, as some policies or local codes may require these drains to be professionally sealed.

Garage Vehicle Doors

SI.

~Garage Overhead Door Plate Glass: Observation identified non-safety plate glass windows installed in the garage overhead vehicle doors; It is recommended that a qualified contractor remove the plate glass and install approved safety glass or impact-resistant panels to eliminate the potential injury risk from breaking glass.

Garage Door Apron

PC.

~Garage Door Apron Maintenance: Observation of the garage noted that the concrete apron is in decline due to age and frost damage; It is recommended that a qualified concrete contractor be consulted to explore methods for repair or replacement; Completing these repairs is important to eliminate the deteriorating condition and ensure a smooth, stable transition at the garage entrance.

Garage Door Opener(s)

SI.

~Garage Door Auto-Reverse Safety Failure: Observation of the overhead garage doors identified that the auto-reverse safety mechanism failed to operate when back pressure was applied; This is a critical safety feature designed to prevent injury or entrapment; It is recommended that a qualified garage door technician be consulted to adjust or repair the opener to ensure the door reverses properly when it meets resistance.

~Garage Overhead Door Photo-Eyes Missing: Observation identified that the safety photo-eyes are missing from the garage door opener system, disabling the auto-reverse safety feature; It is recommended that a qualified contractor install approved photo-eye sensors to ensure safe operation.

Receptacles

CN.

~Please see Section 12: Garage: Outlets, Fixtures, & Switches notes.

Section 5: Basement / Crawlspace/ Frost Wall/ Slab/Lower Level

General Observations

CN.

~Where applicable, all components of the basement/crawlspace to include the floor, columns, moisture, stairs, insulation when visible, floor joist and sub-floor where visible, and receptacles is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Moisture

PC.

~Basement Moisture And Dampness: Observation of the basement measured a relative humidity level of 64%, which exceeds the ideal range of 45% to 50%; Damp areas in corners and along the front wall with evidence of past staining and efflorescence on the wall and floor surfaces in other parts of the basement; It is recommended that a professional basement water specialist be consulted to determine and correct the cause of the moisture and to prevent future entry; Once these repairs are made, the use of an installed dehumidification system is important to manage humidity and improve air quality.

Dehumidifier and Heat Recovery Ventilation (HRV)

BP.

Options Or Both.

~Unit Not Observed: Enhanced Dehumidifier: During the year, primarily in the summer months, ventilation and dehumidification of the basement/crawl space areas if present is recommended; Humidity levels maintained at 45% to 50% improve the overall living space conditions eliminating excess moisture generated in the basement.

~Unit Not Observed In Basement: Heat Recovery Ventilators (HRV's): Used primarily in cold climates, Heat Recovery Ventilators (HRV's) pass two air streams, one into the home from the outside and the other from inside the home to the outside reducing moisture and air impurities through filtration; To ensure optimal performance and air quality, the units will need to be maintained and operated per the manufacturer schedule to include washing of the filters, vacuuming, wiping down the units interior, and cleaning the exterior intake vents.

~It is recommended that dehumidification and air exchange be added to all below grade areas after corrections to reduce moisture are implemented.

Foundation

CN.

~Cinder Block Wall Mortar Joint Separations: Observation identified separations and cracking in some of the mortar joints on the cinder block walls due to age and settling over time; It is recommended that a qualified masonry contractor point and fill the joints to ensure the strength of the foundation.

Insulation

SI.

~Exposed Paper Backed Insulation: Moisture Retention and Fire Risk: Exposed paper backed insulation products in basements may absorb moisture and are a greater fire risk in the event of an ignition; Options to remove or replace the current insulation with paperless insulation or ignition protected spray foam may be explored.

~Basement Insulation and Blocking Methods: Observation of the basement area noted that modern energy efficiency improvements often involve the installation of spray foam or non-papered fiberglass insulation between the first floor and the top of the foundation; In some instances, these materials are applied to all interior basement walls and wood blocking within crawlspaces to enhance thermal performance; It is recommended that a professional insulating contractor be consulted to discuss the various options and ensure that any current or future installations meet specific ventilation and fire-safety

standards.

Basement Stairs / Railings

SI.

~Basement Stair Handrail: Observation of the basement stairs identified that the existing handrail does not meet requirements for a proper graspable design; A handrail that cannot be firmly gripped the full length of the stairs fails to provide adequate stability or support during a slip or fall; It is recommended that a qualified contractor modify or replace the handrail with an approved, graspable rail to meet current building standards and ensure user safety.

~Basement Stairway Guardrail Requirements: Observation of the basement staircase identified that the stairs lack protective guardrails along the open-sided portions and landings; Modern safety protocols advise that guardrails be provided for any elevated transition where a fall hazard exists; It is recommended that a qualified contractor be consulted to install a code-compliant guardrail system with balusters spaced no more than a four inch sphere passing through.

Observed Structure: Rim Joist, Sill Plate, Floor Joists, Sub-Floor, Support Beams, and Columns

CN.

~Insulated Basement Inspection Limitations: This observation indicates that because of the installed insulation, the main structural beams, floor joists, sub-flooring, and foundation sills were not fully visible for inspection; Consequently, the structural condition of these concealed components is unknown; The limited areas that remained exposed and accessible were found to be in satisfactory condition at the time of the inspection.

Receptacles

CN.

~Please see Section 12: Basement/Crawlspace: Outlets, Fixtures, & Switches notes.

Basement Windows

CN.

~Blocked Basement Windows: Assessment identified that some basement windows have been covered and sealed with insulation board, preventing access; It is recommended that the insulation boards be removed so the windows can be fully assessed to determine their operational condition, and that any necessary repairs or replacements be completed.

Section 6: Plumbing

Dug Well, Point Well, Gravity Fed, Cistern System or Abandon System Installed

PC.

~VT: Unknown Dug Well Location and Maintenance: Assessment identified that the home is supplied by a gravity-fed dug well, but its exact physical location was not observed during the inspection; The wellhead, cap, and lid assembly must be located, cleared of all debris, and graded to divert surface water away from the well top; All cracks and seams should be sealed to prevent surface moisture and pests from entering the water supply; It is recommended that a qualified professional perform an initial disinfecting, followed by yearly maintenance and testing as outlined going forward by the State of Vermont water quality guidelines.

Water Service

PC.

~Secondary Water Line and Booster Pump: Assessment identified a secondary water line and a booster pump assembly that was unplugged and non-operational at the time of inspection; The exact function, water source, and termination points or connected appliances of this system are unknown; It is recommended that a qualified well service contractor evaluate the entire assembly to determine its purpose and operational condition.

Water Heater

SI.

~Over time, mineral sediment from the water supply settles at the bottom of the tank; This buildup forces the heating elements to work harder, which reduces efficiency and can cause premature failure; for optimal performance and to prolong the life of the water heater, it is recommended that the tank be flushed annually to remove accumulated sediment; This maintenance task should be performed by a qualified licensed plumbing contractor.

~Missing Thermal Mixing Valve: Observation of the water heater identified that a thermal mixing valve is not installed; While requirements for these valves vary by state, they are a recommended safety feature to prevent accidental scalding by mixing cold water with the hot water leaving the tank; It is suggested that a licensed plumber be consulted to install a mixing valve to ensure safe and consistent water

temperatures throughout the home.

Waste

PC.

~Private Septic System Evaluation: Two Exit Point From The Home: This observation indicates that at the time of the inspection, the interior portions of the septic system are functioning with adequate drain flow and no unusual septic odors within the home; However, a comprehensive evaluation of the exterior components is outside the scope of this inspection; A licensed septic professional must be consulted to verify the integrity and functionality of the septic tank, the distribution box, and the leach field; This assessment should include an inspection of the piping and a review of the tank's current condition and pumping history before taking possession of the home.

Exterior Water Faucets and Shower If Present

CN.

~Seasonal Use: After the end of the summer season it is important to remove all hoses, trace and shut off outside water faucets if applicable; If installed, all outdoor shower systems need to be winterized.

Section 7: Oil Fired Hot Water/Steam Boiler

Oil Fired Heating System

PC.

~Boiler Heating Season Servicing: Assessment identified that the last service date for the boiler: 4/2024; To set a baseline operating condition before taking possession, the boiler and all attached heat distribution components, including circulation pumps, must be fully reviewed and cleaned; It is recommended that a licensed heating contractor service the system, clean the boiler shroud and connecting pipes of corrosion and scale, vacuum the interior, and wipe down all surfaces; Oil-fired boilers require annual servicing to ensure safe and satisfactory exhaust and mechanical operation; Enrolling the system in a professional service plan or home warranty for ongoing protection and emergency repair coverage should be considered.

~The cause of the seepage at the drain valve at the base of the boiler will need to be determined and corrected at the boilers service.

Oil Tank(s)

PC.

~Vermont: At Equipment Service: Oil Delivery Company 2017 Tank Verification and Sign Off: The existing tank is operational but proof of the 4 year inspection requirement was not verified; 2017 oil tank inspection and regulatory requirements require the oil company to inspect the tank every 4 years; It is recommended the oil delivery company be contacted to have the tank inspected and signed off as acceptable for fuel oil delivery before taking possession of the tank.

~A tipped oil tank venting line was observed at the rear of the home; The lines function will need to be determined and the line removed.

Unit Venting

PC.

~Boiler Exhaust and Flue Inspection: Observation of the boiler identified the need for a comprehensive service that includes a full inspection of the exhaust system; It is necessary for a qualified HVAC technician to verify that the flue is properly sealed, clear of obstructions, and venting combustion gases safely to the exterior; Ensuring the integrity of the exhaust system is important to prevent dangerous carbon monoxide from entering the home and to maintain peak heating efficiency.

Section 7: Fireplace(s)

Fireplace Service

PC.

~Fireplace and Chimney Maintenance: It was noted that if not already completed this season, all fireplaces, surrounds, hearths, ash pits, and flues require professional cleaning and a full safety evaluation before further use; a certified chimney sweep should be consulted to identify and correct any safety deficiencies to ensure the system functions properly; ongoing annual inspections are essential for the safe operation of all masonry and venting components.

~The chimney top damper chain was not located; The chain will need to be confirmed at the chimney service.

Section 7: Wood Stove

Wood Stove Service

PC.

Basement.

~2026/27 Heating Season: If not completed this year, all woodstoves in the home will require cleaning, inspecting, and any safety deficiencies corrected before use by a professional chimney service/Chimney Sweep and ongoing on a yearly basis to ensure the stove and chimney are safe and function properly.

Section 7: Cooling

Cooling System Service

PC.

Large Family Room.

~Ductless Mini-Split Deficiencies: Assessment identified that the ductless mini-split air conditioning system is non-operational and features multiple exterior and interior deficiencies; The remote control was not located, the exterior refrigerant line sets are missing required insulation and the vegetation around the unit needs to be removed; On the interior wall head unit, dust and dirt accumulation along with a damaged cover housing were observed; It is recommended that a licensed HVAC contractor fully evaluate and service the installation to clean components, replace missing insulation, and determine if the unit can be repaired or requires replacement.

Section 8: Interior

General Observations

CN.

~Where applicable, all components of the interior to include floor structure, ceilings, interior doors, moisture damage, windows, and stairs are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Ceiling/Wall Asbestos Characteristics Material Use

CN.

~Textured Ceiling Material Advisory: Observation of the home's interior noted the presence of textured ceilings (often called "popcorn" ceilings); Because some textured finishes used before 1986 contained asbestos, it is recommended the ceiling be sampled by a certified asbestos testing company before any scraping, removal, or renovations are completed involving the ceiling surfaces.

Interior Floor Structure

CN.

~Kitchen-to-Laundry Threshold Settling and Crack: Evaluation revealed evidence of a settlement crack at the threshold between the kitchen and laundry room, which has caused the flooring in that area to crack; It is recommended that a qualified contractor determine and correct the underlying cause of the settling before new flooring material is installed.

Energy Savings Tip: Air Sealing

BP.

~Source: Energy.gov: "Reducing the amount of air that leaks in and out of your home is a cost-effective way to cut heating and cooling costs, improve durability, increase comfort, and create a healthier indoor environment; Caulking and weather-stripping are two simple and effective air-sealing techniques that offer quick returns on investment, often one year or less; Caulk is generally used for cracks and openings between stationary house components such as around door and window frames, and weather-stripping is used to seal components that move, such as doors and operable windows;" Properly sealing wall light switches and electrical receptacles is another area for improved air sealing.

Full Home Energy Audit

BP.

Please Contact Your Electric Utility Provider.

~A home energy audit, also known as a home energy assessment, can help you understand the whole picture of your home's energy use; An audit can help you determine how much energy your home uses, where your home is losing energy, and which problem areas and fixes you should prioritize to make your home more efficient and comfortable; A home energy audit should be your first step before making energy-saving home improvements, as well as before adding a renewable energy system to your home.

Laundry Room

SI.

~Gas Clothes Dryer Performance: Identification of the gas-fired clothes dryer detected an unusually loud flame burner noise while the unit was in operation; This condition may indicate a need for burner adjustment, cleaning, or a component repair to ensure safe and efficient combustion; It is recommended

that a qualified appliance technician be consulted to evaluate the burner assembly and perform any necessary servicing or replacement prior to taking ownership and use.

~Important Fire Protection Maintenance: At Move In And Ongoing: Washer and Dryer Behind and Under Unit Clean-up: An important maintenance task for fire prevention, the areas behind the washer and dryer cleaned and vacuumed of all lint, dust and objects that find their way behind the units over time; The dryer vent and all connecting venting hoses should be cleaned and if plastic vent pipes discovered replaced with metal and the termination point outside the home confirmed; The clothing washing machine plumbing and drain connections should be reviewed for proper installation and shut off ability; The clothing washing machine is not tested as part of the inspection due to the possibility of leaving water in the unit; Verification of the units operability should be made with the seller if the unit is part of the sale.

Section 9: Kitchen

General Observations

CN.

~Where applicable, all components of the kitchen to include the cabinets, counters, dishwasher (start and drain), disposal, flooring, microwave, moisture, range/oven, refrigerator, sink and ventilation is inspected: The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Cabinets

NM.

~Cabinets and Drawers: Adjustments; To maintain the life expectancy of the cabinets, adjustments and tightening the cabinet doors, and drawer fronts/slides should be made to properly operate the cabinets.

Counters

PC.

~Kitchen Tile Countertop Deterioration: Evaluation revealed that the tile kitchen countertops are showing signs of age and heavy use, including cracked tiles and missing grout; It is recommended that a qualified contractor assess the countertop surfaces to determine if they can be repaired by replacing damaged tiles and filling missing grout, or if full replacement is necessary to restore a clean, properly sealed, and durable finish.

Range / Oven

SI.

~Range Hood and Cooktop Clearance: Observation of the kitchen identified that the vertical clearance between the cooktop and the overhead materials is too close; Safety standards typically require 30 inches of clearance, though some approved materials allow for a minimum of 24 inches; It is advised that a qualified appliance installer review the setup to ensure it meets safe building standards and prevents fire risks.

Ventilation

SI.

~Kitchen Vent Ductwork Terminated in Attic: Evaluation revealed that the kitchen exhaust vent ductwork terminates directly inside the attic space rather than extending to the building exterior; This improper termination creates a fire risk and introduces moisture into the attic; It is recommended that a qualified contractor properly route and construct the ductwork to the exterior of the home in accordance with current building standards and approved material type.

Receptacles

CN.

~Please see Section 12: Kitchen: Outlets, Fixtures, & Switches notes.

Section 10: Bathroom 1

General Observations

CN.

Primary Bath.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, showers, GFCI's, moisture, and flooring is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Ventilation

AI.

~Missing Bathroom Ventilation: Observation of the bathroom noted that a functional exhaust vent is currently absent; Without a venting system, moisture from the shower can build up, which often leads to

peeling paint or mold growth on the walls and ceiling; It is recommended that a qualified contractor be consulted to install a ducted exhaust fan to help manage humidity and protect the interior finishes.

Receptacles

CN.

~Please see Section 12: Bathroom(s): Outlets, Fixtures, & Switches notes.

Bathroom Entrance Door

CN.

~Missing Door: The bathroom door is missing and will need to be installed.

Section 10: Bathroom 2

General Observations

CN.

First Floor Hall.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, shower, GFCI's, moisture, flooring, entrance door and water pressure is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Ventilation

PC.

~Missing Bathroom Ventilation: Observation of the bathroom noted that a functional exhaust vent is currently absent; Without a venting system, moisture from the shower can build up, which often leads to peeling paint or mold growth on the walls and ceiling; It is recommended that a qualified contractor be consulted to install a ducted exhaust fan to help manage humidity and protect the interior finishes.

Shower

PC.

~Loose Tile and Moisture Damage: Evaluation revealed loose tiles, damaged wall surfaces, and heavy caulking, indicating moisture penetration behind the tile assembly; It is recommended that a qualified contractor remove the affected tile, repair all hidden wall damage, and reinstall a properly sealed wall finish.

Section 10: Bathroom 3

General Observation

CN.

First Floor Half Bath.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, shower, GFCI's, moisture, flooring, entrance door and water pressure is inspected; All of the components inspected satisfactory unless listed.

Receptacles

CN.

~Please see Section 12: Bathroom(s): Outlets, Fixtures, & Switches notes.

Entrance Door

NM.

~The bathroom entrance doors is not latching properly and needs to be adjusted to close and lock completely.

Section 11: Attic

General Conditions

CN.

~Where applicable, observed and accessible: All components of the Attic to include the stairs if applicable, roof framing, roof sheathing, attic venting, vent pipes and flashing, moisture, wire conditions and properly installed insulation are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Attic Access: Blocked, Observation From The Ladder Position: Pest, Small Opening, Stairwell Opening or Blown Insulation or Vermiculite, Sealed Peak

SI.

~Attic Access Location Deficiencies (Basement Stairwell): Assessment identified that the attic scuttle hole is located directly above the basement stairwell opening; Due to the severe fall hazard of climbing into and out of this opening over an open stairwell, the attic inspection was performed from a limited ladder position using a strong flashlight to view the space; Visible areas indicated satisfactory conditions

except where noted; It is recommended that a qualified contractor seal this scuttle hole and relocate the attic access hatch to a safer, level space in the home, such as a hallway or closet ceiling, allowing for a full inspection of the attic space.

Attic Ventilation

PC.

~Attic Ventilation: Observation of the attic space confirmed that the existing soffit vents are blocked or improperly installed; To provide the best venting condition, the installation of attic soffit baffles and properly sized gable end venting or an alternative method is recommended to allow heat to move effectively out of the space during summer months and moisture in the winter; It is suggested that a professional insulation and venting company be consulted to correct the airflow and ensure the attic remains dry and well-ventilated.

Bathroom/Kitchen Vent Termination/ Waste Vent Pipes/ Flashing

CN.

~Please see Section 9: Ventilation note.

Insulation: Attic/Knee Wall

CN.

~Attic Insulation Present: Observation of the attic space confirmed the presence of batted insulation with an estimated R-value of 21 (confirmation of the actual R-value will need to be made at the energy audit); This current level is below the newer recommendation of R-49 for this region; It is recommended that a professional insulation contractor be consulted to achieve the desired R-value; It is suggested that you contact your local electric utility provider to discuss available programs or rebates to determine the best next steps for improving the home's energy efficiency.

~Existing Insulation Removal and Preparation: Notice of the attic cavity identified that a complete removal of existing insulation, including vacuuming of the space, is the most effective preparation for an upgrade; This method allows for the removal of dated or pest-damaged material and provides clear access for a full electrical inspection; It is recommended that you contact your local electric utility provider for guidance on qualified contractors and potential rebates available for comprehensive air sealing and insulation removal.

Section 12: Electrical

Service Entrance

SI.

~Electrical Service Tree Trimming: Observation of the exterior electrical service identified that tree limbs are growing close to or are in direct contact with the overhead service lines; This contact can cause power interruptions or damage to the home's electrical system during limb failure events or windy conditions; It is recommended that the local utility provider be contacted to safely trim the branches away from the wires; Do not perform this work on your own as service lines can cause serious injuries or death.

~Improperly Terminated Wires At Service Location: Assessment identified improperly terminated electrical wires at the exterior service meter location; Unprotected wires pose an electrical shock and fire hazard; It is recommended that a licensed electrician evaluate the installation to properly terminate the wires inside an approved exterior junction box or remove the abandoned conductors entirely.

Generator

SI.

~Standby Generator: Auto Transfer Switch; Active Control Status: The home is equipped with a 12 kW propane fired exterior power generation unit and auto transfer switch gear at the electrical meter; The unit is inspected for exterior defects, vegetation blocking air intake ports, and last service date indications; The unit is not live tested as part of the home inspection scope; A licensed electrical contractor or service company servicing the generator should be consulted about the current service status and verification of the units operation, all connecting service wires, oil condition, the electrical circuits and systems supported by the generator and all transfer switching off and back onto the utility service.

~Backup Generator Service Plan: It is recommended that a comprehensive service plan including emergency repair coverage be established; This proactive approach ensures the unit remains reliable and fully operational during power outages.

~Second Source Portable Generator and Manual Transfer Switch: The home is equipped with a portable generator and manual transfer switch at the electrical panel; The switch is not tested as part of the home inspection scope; A licensed electrician should be consulted about the removal of the second source.

Main Panel(s)

SI.

~New construction requirements are in place, and the electrical panel will need to be reviewed by a Licensed Electrician to perform the identified recommendations or other repairs identified by them in their assessment; In some cases, a need to upgrade the panel will be made based on the ability of the panel to accommodate the identified recommendations.

~Circuit Labeling and Verification: It is recommended that the labeling be professionally updated to accurately reflect the current use of all areas in the home; Proper labeling is essential for safety during maintenance and in the event of an emergency.

~AFCI Circuit Protection Recommendation: It was noted that the panel lacks Arc-Fault Circuit Interrupter (AFCI) protection; Current safety standards require AFCI protection for nearly all 15 and 20-amp branch circuits in residential living areas, including bedrooms, living rooms, and hallways; It is recommended that these specialized breakers be installed to enhance the fire safety of the home's electrical system.

~Electrical Panel Screws: Observation of the electrical panel identified that the cover screws were only partially installed; Loose or incomplete fastening leaves the panel cover unsecure, which can allow accidental contact with live electrical components; It is recommended that a licensed electrician evaluate the panel threads and fully install approved, blunt-tip panel screws to ensure safety.

~Neutral and Ground Conductor Separation: This entry refers to the electrical panel, which requires a professional review to ensure the proper isolation of neutral (white) and ground (copper) conductors; It is recommended that a licensed electrical contractor be consulted to determine the specific wiring requirements and to evaluate the number of conductors terminated per slot to ensure compliance with current safety standards. ~Surge Protection for Sensitive Equipment: Evaluation of the electrical system revealed that a Surge Protective Device (SPD) is currently missing; Modern homes contain sensitive electronics and appliances that are vulnerable to high-voltage spikes; It is recommended that a whole-house surge protector be installed within the panel to mitigate the risk of damage from external power surges.

~Sub-Panel Wiring Designation: This entry refers to the main electrical panel, which requires rewiring to meet sub-panel configuration standards; Because the primary service disconnect is located at the exterior meter, the interior panel must be isolated according to sub-panel rules; The specific requirements for separating the neutral and ground conductors must be determined and corrected by a licensed electrical contractor to ensure the system is safe and code-compliant.

Sub Panel 1

SI.

~Subpanel and Unprotected Cable Deficiencies: Assessment identified unprotected non-metallic sheathed cable ("builder's wire") routed to a 240-volt outlet in the basement; Exposed electrical cables are subject to physical impact and require mechanical protection; Additionally, this basement outlet requires ground-fault circuit-interrupter (GFCI) protection for safety; It is recommended that a licensed electrician perform a full review of the subpanel wiring, circuit dedication, install proper GFCI protection, and secure all exposed cables within an approved conduit sleeve.

General Observation(s): Outlets, Fixtures, and Switches

SI.

~Electrician Walkthrough and Repair Needed After The Areas Are Emptied: Home and Garage and Outbuildings If Present: Commonly found in most properties and sometimes as a result of limited observation due to items and furniture in the home, a room by room and area review will need to be completed; Any missing/ damaged light fixtures, light switch and plug covers, improperly terminated or loose wires, or missing junction box covers installed and not identified during the inspection will need to be repaired.

~Where Applicable: All GFCI to include exterior outlets, AFCI outlets and circuits will need to be tested at move in and ongoing per manufactures recommend intervals to ensure the outlets and circuits trip and reset properly.

~Licensed Electrician: All repairs will need to be performed by a licensed electrician.

Exterior: Outlets, Fixtures, & Switches

SI.

~Decks: Exterior stairways require the installation of an artificial light source located at the top and bottom of the stairs to fully illuminate the stairway and controlled from within the home; It is recommended a review of the deck lighting be performed after hours to determine the correct placement of the lights to determine the stairways are properly lighted.

~Deck GFCI Receptacle Installation: Observation of the deck areas noted that the required electrical receptacles are missing; It is necessary for a licensed electrician to install new GFCI-protected outlets, and weather-tight "in-use" covers; Adding these receptacles is essential to ensure safety and meet

current standards for deck locations.

~Two Wire Outlets Observed: Exterior GFCI Receptacle Requirement: Identification of the home's perimeter established that no Ground Fault Circuit Interrupter (GFCI) outlets are currently installed on the front or rear exterior; For safety and convenience, it is suggested that outlets equipped with weather-resistant covers be added to these areas; It is recommended that a licensed electrician be consulted to install these components to ensure the home meets current electrical safety standards for outdoor power use.

Detached Structure/Shops/Pool Houses/Greenhouses Fixtures and Switches

SI.

~Outbuildings Not Inspected: Observation of the property identified one or more outbuildings that were not evaluated as part of this inspection package; If electrical power is present, it is advised that a licensed electrician perform a professional review of any sub-panels and wiring to ensure safety; This evaluation should include verifying that all receptacles are equipped with proper GFCI protection to eliminate electrical hazards and ensure safe operations.

Garage Or Shop: Outlets, Fixtures, & Switches

SI.

~Garage Outlets Lack GFCI Protection: Assessment identified that the electrical outlets in the garage are not GFCI (Ground Fault Circuit Interrupter) protected; Unprotected outlets in damp locations or areas with concrete floors present an elevated shock hazard; It is recommended that a licensed electrician modify the circuit to install GFCI protection for all garage outlets to ensure safe operational conditions.

~240 Volt GFCI Protection And Builders Wire: Not Installed: GFCI electrically protected 240 Volt receptacles are required in the garage and all exposed conductors installed in conduit and properly connected to the outlet.

Basement/Crawlspace: Outlets, Fixtures, & Switches

SI.

~Basement and Finished Space GFCI Protection: Evaluation of the basement revealed that several electrical receptacles lack required Ground Fault Circuit Interrupter (GFCI) protection; Current safety standards identifies receptacles in below-grade, unfinished, and finished areas to be GFCI protected to mitigate the risk of electrical shock; It is recommended that a licensed electrical contractor be consulted to evaluate the installation of GFCI devices for all required basement circuits.

~Improperly Terminated Wiring: Evaluation of the electrical system revealed wires that are not properly terminated; It is recommended that a licensed electrician be consulted to evaluate these locations and install approved junction boxes and covers where required; This will ensure all wiring is properly protected and secured according to safety standards.

~Basement Stairwell Lighting Missing: Basement home stairwells need to be properly lighted and have the ability to be turned on and off from both the bottom and top of the stairs.

~Missing cover plates on electrical junction boxes were observed in the basement.

Laundry: Outlets, Fixtures, & Switches

SI.

~Laundry Area GFCI Protection: Evaluation of the laundry room revealed that the outlets serving the appliances (to include the dryer) may not have Ground Fault Circuit Interrupter (GFCI) protection; It is recommended that a licensed electrician be consulted to evaluate the circuit and install GFCI protection as needed; This upgrade is suggested to enhance safety in areas where water and electrical components are in close proximity.

First Floor: Outlets, Fixtures, & Switches

SI.

~Ungrounded Two-Wire Electrical Circuits: Observation identified that portions of the home utilize an older two-wire electrical system lacking an equipment grounding conductor; It is recommended that a licensed electrician evaluate the system to upgrade key circuits or install GFCI protection to ensure user safety and protect modern electronic equipment.

~Open Ground And Reversed Neutral Outlet Evaluation: Evaluation of the electrical system revealed the presence of three-prong outlets that lack a functional grounding connection with blocked grounding points and reversed polarity; Current safety protocols require proper grounding and polarity to ensure the safe operation of modern appliances and surge protectors; It is recommended that a licensed electrical contractor be consulted to perform a comprehensive review of the home's receptacles and perform the necessary repairs to establish a safe and grounded electrical system.

Kitchen: Outlets, Fixtures, & Switches

SI.

~Dishwasher GFCI Protection: Evaluation of the kitchen electrical system revealed that the dishwasher

circuit may lack Ground Fault Circuit Interrupter (GFCI) protection; It is recommended that a licensed electrical contractor be consulted to determine the specific wiring requirements and to evaluate the installation of a GFCI receptacle or breaker; This safety enhancement is recommended to provide protection for electrical components in close proximity to water sources.

~Limited Kitchen Countertop Receptacle Spacing: Observation of the kitchen noted that the current countertop receptacle spacing does not meet modern standards for new kitchen installations; It is advised that additional properly spaced and GFCI-protected outlets be installed; Upgrading the receptacle spacing is important for both convenience and safety to ensure the kitchen meets current building standards.

~Missing Kitchen GFCI Protection: Assessment identified that the electrical outlets in the kitchen lack required GFCI (Ground Fault Circuit Interrupter) protection; It is recommended that a licensed electrician evaluate the kitchen circuits to install approved GFCI outlets or breakers to ensure a safe electrical environment.

Bathroom(s): Outlets, Fixtures, & Switches

SI.

~Primary Bath Non-Functional Bathroom GFCI Outlet: Observation of the bathroom identified an installed GFCI outlet that is not working and failed to trip when tested; It is recommended that a licensed electrician be consulted to replace the faulty outlet to ensure the bathroom electrical system is safe and functional.

~1/2 Bath GFCI Protection Near Sink: Observation of the bathroom identified that there is no Ground Fault Circuit Interrupter (GFCI) protected outlet within 3 feet of the sink; Modern safety standards require GFCI protection near all water sources to prevent electrical shock; It is recommended that a licensed electrician be consulted to install a GFCI outlet to meet current safety requirements.

Smoke and CO Detection

SI.

~Smoke and Carbon Monoxide Detection Compliance: Evaluation of the home's detection systems was limited to a visual confirmation of presence as units are not removed or tested during this inspection; It is recommended that a qualified professional be consulted prior to taking possession to verify the location, age, sensor type—specifically the use of ionization and photoelectric technology—and whether the units are hard-wired or battery-operated; The professional should confirm if CO detection is present or missing in current units and ensure the system meets State Fire Marshal standards; Any units exceeding ten years of age should be replaced and a maintenance schedule established for weekly testing and regular battery replacement.

Current Status.

~Smoke: Units Not Present: Full Review and Upgrade

~CO: Confirmation Required When The Units Are Installed And Upgraded.

Attachments Below.

~Vermont State Info: Sellers Responsibility In Vermont.

~Additional National Fire Protection Association Smoke Detection Information Link:

~Additional National Fire Protection Association Information: <https://www.nfpa.org/education-and-research/home-fire-safety/smoke-alarms>

Section 1: Site Grounds & Grading

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. When decks and porches are built close to the ground where no viewing or access is possible, we cannot make accurate opinions. These areas as well as others that are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in this report. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Inspection Information

Date: 6/12/2026

Time: Morning

Weather Conditions: Sunny

Comments:

Date Of Inspection: 6/12/2026

Weather: 81 Degrees

Square Feet Inspected: 2,352

Driveway

Condition: Needs Maintenance

Type: Gravel

Comments:

NM.

~Gravel Driveway Maintenance: Observation of the gravel driveway identified areas of thinning material; It is recommended that a qualified landscape contractor be consulted to regrade the surface to allow water to shed to the sides; Additionally and where required, a fresh stone top-dressing should be applied and compacted to ensure a stable, long-lasting driving surface.



Primary Use Entrance Point Step/Stair To Home

Condition: Safety Improvement

Location:Front Side Of Home

Comments:

SI.

~Missing Primary Entrance Landing: Observation of the primary entrance identified that the step lacks a proper landing; It is advised that a qualified building contractor perform a professional review to explore options for installing a landing; Ensuring a level landing at the door is important to meet current building standards and provide a safe transition into the home.



Other Entrance Point(s) Step/Stair To Home

Condition: Safety Improvement

Location:Front Center Of Home

Step Type(s):Stone

Comments:

SI.

~Exterior Stair Riser Height Safety: Observation of the stone stairs noted a tall riser height, likely caused by settlement of the stone step; It is necessary for a qualified mason or hardscape specialist to reset the stones and level the surface to eliminate this discrepancy; Correcting the riser height is important to remove a tripping hazard and to ensure the stairs provide a safe and uniform transition.



Sidewalks / Walkways

Condition: Safety Improvement

Type:Stone

Comments:

SI.

~Stone Walkway Maintenance: Observation of the stone walkways identified uneven surfaces and settled stones; These conditions can create trip hazards and affect drainage; It is recommended that a qualified contractor be consulted to review and level the walkways to ensure a safe and stable path.



Retaining Walls and Slopes

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Type: Stone

Location: Front Of Home

Comments:

SI/PC.

~Retaining Wall Guardrail Missing: Observation identified a retaining wall drop-off that lacks a safety guardrail or protective barrier; This unprotected drop creates a fall hazard, particularly at night or during low-light events; It is recommended that a qualified contractor evaluate the area and install an approved guardrail system to ensure occupant safety.

~Stone Retaining Wall Movement: Observation identified areas where the stone wall is leaning or shifting forward over time; This condition is caused by soil pressure and frost heaving due to poor drainage behind the stones, which traps moisture and creates pressure; It is recommended that a qualified mason or contractor excavate behind the wall, reset the stones, and install proper backfill and drainage systems to divert water away from the wall.



General Grading / Drainage

Condition: Satisfactory

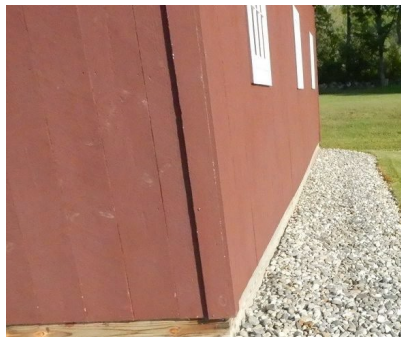
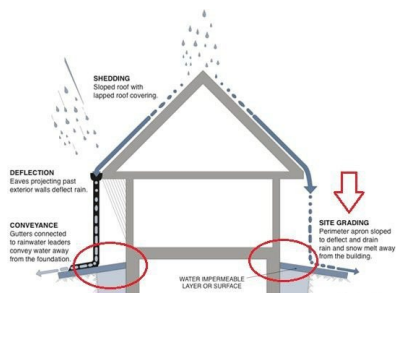
Grading at House Wall

Condition: Needs Maintenance

Comments:

NM.

~Ongoing General Grading Needs: The grade along the perimeter of the home is an important factor in keeping moisture away from homes and allowing water to flow away from the home's siding, sills and foundation; A plan should be implemented to upgrade the current grading along the foundation including the walk out door area if present and any planting beds of the home; Grading first with vapor barrier with stone on top should be added to allow water to flow away from the foundation and limit dirt and water splashing onto the siding of the home; The top of the stone border should be at least 6 inches below the edge of the siding when establishing the grade of 5/8th inch pitch per foot fall and/or drained to move water away from the foundation; If unseen decay is discovered in the course of grading improvements, any impacted siding will need to be addressed to include ensuring the sill and wall studs are intact behind the siding.



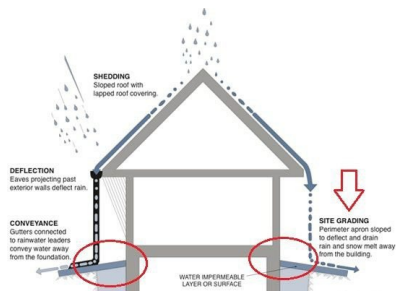
Grading At House Wall

Condition: Needs Maintenance

Comments:

NM.

~Ongoing General Grading Needs: The grade along the perimeter of the home is an important factor in keeping moisture away from home and allowing water to flow away from the home's siding, sills and foundation to include the area at the lower entrance door; A plan should be implemented to upgrade the current grading along the foundation: Grading first with vapor barrier with stone on top should be added to allow water to flow away from the foundation and limit dirt and water splashing onto the siding of the home; The top of the stone border should be at least 6 inches below the edge of the siding when establishing the grade of 5/8th inch pitch per foot fall and/or drained to move water away from the foundation.



Trees & Shrubs

Condition: Needs Maintenance

Comments:

NM.

~Ongoing General Tree Care: The home is surrounded by larger trees; The trees should be fully assessed by a tree professional to determine the health and structural integrity of the trees including the removal of any dead or declining trees or dead and declining branches that may fall from the living trees; It is especially important to remove tree branching overhanging roofs that may damage roofs or allow for the development of moist roof condition promoting the growth of moss and lichens on the roof surface; Tree health and integrity should be monitored especially after storm events to include heavy wind, heavy snow or ice.

~Maintain/Remove Vegetation: All vegetation and tree branches within at least 2 feet of the home (6 feet is preferred) needs to be removed; Vegetation close to homes allows moist conditions to form along the home promoting decay and algae growth as well as harboring pest that may find their way into the home.



Landscape Stairs

Comments:

SI.

~Front Landscape Stairs and Handrail Replacement: Observation identified that the front concrete landscape stairs are in poor condition with cracking and fractures caused by age and freeze-thaw cycles; The stairs feature inconsistent riser and tread ratios and require full reconstruction to ensure safe footing; Additionally, an approved handrail system must be installed to prevent fall hazards; It is recommended that a qualified contractor reconstruct the concrete stair assembly and install a secure handrail system.



Section 2: Exterior & Structure

Our inspection of the Exterior grounds includes the general condition of sidewalks, patios, driveways, and retaining walls adjacent to the structure. The inspection of the exterior of the building includes the cladding, trim, eaves, fascias, decks, porches, railings, doors, windows and flashings. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many foundations, and most do not represent a structural problem. If major cracks are present along with rotation, we routinely recommend further evaluation be made by a qualified professional foundation expert. All concrete slabs experience some degree of cracking due to shrinkage in the drying process or minor settlement. All items listed are inspected for their proper function, excessive wear, and general state of repair. Where snow, deck carpeting, stacked firewood, excessive vegetation, soil and other coverings are installed over decking and patio surfaces, the materials or their nature of construction and condition of the underneath these coverings cannot be determined. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Building Information

Year Constructed: 1964

Type:Single Family

Comments:

CN.

~Circa 1960's: Lead, Asbestos, and Decay History Information; Many homes built before 1978 with minimal reconstruction work like original windows, original trim, wood clap siding and other original wood surfaces, may have paint that contains lead (called lead-based paint); In addition, homes of this age up through 1985, may have used asbestos containing products in the construction of the home including textured ceiling installation; Licensed professionals are available to test and document the presence or not of these materials before the purchase of the home or if reconstruction projects are undertaken and the existing home materials are disturbed; Age of Home: Homes of this age have been exposed to years of varying weather and environmental conditions and construction that may be found during renovation or upgrade projects; In some homes, construction methods and exposure to moisture will cause damage and rot to wood along the outside sill areas and in dirt crawlspaces that are unseen and will be discovered during reconstruction projects; If renovation work is planned after the home is purchased, your best efforts will need to be made to hire a professional building contractor to complete a review and estimate for repairs of the property before purchase.

Exterior Wall Structure

Condition: Satisfactory

Type:Wood Frame

Exterior Wall Covering

Condition: Satisfactory

Type:Wood

Eaves, Trim, Soffits, Fascia Boards and Exposed Roof Rafter Ends

Condition: Satisfactory

Exterior Door(s) Condition

Condition: Satisfactory

Type:Wood

Exterior Foundation Observations

Condition: Satisfactory

Type:Block

Propane Tank, Metering When Applicable, and Exterior Piping

Condition: Customer Note/ Sellers Note/ Owners Note, Safety Improvement

Comments:

CN/SI.

~Propane tanks and their associated delivery systems are considered outside the scope of a standard home inspection; It is recommended that the propane delivery company be contacted prior to the transfer of ownership to confirm the tank's lease or ownership status and to perform a comprehensive safety evaluation; This professional review should verify the condition of the tank, all interior and exterior supply lines, shutoff valves, and regulators; It is essential for the provider to confirm that the regulators have proper venting protection and that the system is appropriately shielded from falling snow or ice; All safety checks and maintenance should be documented by a certified technician in accordance with manufacturer recommendations and state safety standards before taking ownership of the system.



Deck Stairs

Condition: Safety Improvement

Comments:

SI.

~Stairway Landing Pad: Evaluation of the staircase noted that the last step terminates onto a surface lacking a proper landing pad; It is recommended that a qualified building contractor be consulted to install a level, stable landing at the base of the stairs to ensure a uniform and safe transition when stepping off the final riser.

~Deck Stair Handrail Requirement: Observation of the deck stairs identified that the assembly consists of four risers and lacks a properly installed graspable handrail; It is recommended that a qualified building contractor be consulted to install an approved handrail to ensure occupant safety.



Deck

Condition: Safety Improvement

Type: Wood

Construction Attachment To Home : Nailed to House

Deck: Raised: Greater Than 30 Inches In Hight From Soil Level

Comments:

SI.

~Deck Guardrail and Fixed Seating Safety: Observation identified that built-in bench seating is installed along the deck perimeter, creating a fall hazard as the seating acts as a platform; It is recommended that a qualified contractor evaluate the deck seating and perimeter barriers to perform necessary modifications that meet current safety and deck construction standards.

~Deck Structural Attachment Enhancement: Observation of the exterior deck confirmed that newer tie hardware types to the structure are missing; To further improve the connection between the deck and the house, it is recommended that a professional building contractor be consulted to install modern tension-tie hardware or approved deck ledger board screws; This enhancement is important to ensure the deck remains secure and provides long-term stability for occupant safety.



Deck/Patio Awning

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Awning Verification: Full Opening: The deck awning installed on the rear deck is not fully opened as part of the inspection scope; While the mechanical portion of the awnings appears to be in good order, it is

important to have the awning(s) opened fully and verified that the mechanical operation and full covers are in good condition with no damage.



Section 3: Roof and Chimney(s)

The inspection of the roof system includes a visual examination of the surface materials, connections, penetrations and roof drainage systems. We examine the roofing material for damage and deterioration. The number of roof layers determination is determined by the exposed outside shingle edge and may be incorrect. Additional layers may be discovered by the roofing contractor when on the roof surface or at replacement. We examine the roof system for possible leaks, damage and conditions. We may offer opinions concerning repair and/or replacement if warranted. Opinions stated herein concerning the roofing material are based on the general condition of the roof system as evidence by our visual inspection. These do not constitute a warranty that the roof is or will remain, free of leaks. All roofing systems require annual maintenance. Failure to perform routine maintenance will usually result in leaks and accelerated deterioration of the roof covering and flashings. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection, and we cannot confirm this condition. We suggest that an annual inspection, of the Attic area, if applicable, be performed where accessible to identify if any leaks are developing or evident. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~All components of the roof to include general covering condition, leaks, flashing, roof vents, skylights, and exterior roof structure, where applicable are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Roof Style

Type:Gable

Exterior Roof Structure

Condition: Satisfactory

Exterior Roof Structure Observation :No Noted Observations Out Of Normal Exterior Roof Structure Conditions

Exterior Roof Covering Condition

Condition: Professional Consultation/ Further Evaluation

Metal Type:Standing Seam, Galvanized

Comments:

PC.

~Standing Seam Galvanized Metal Roof Aging: Observation identified that the standing seam galvanized metal roof is in generally good condition but showing signs of wear and surface damage from age and weather impacts; Options to clean, reseal, and recoat the roof panels should be explored to extend the life cycle of the roof covering; It is recommended that a qualified roofing contractor evaluate the installation and perform necessary restoration maintenance.



Roof Side Wall and Valley Flashing

Condition: Satisfactory

Roof Leak Evidence

Condition: Satisfactory

Roof Leak(s) Observed: None Observed

Viewed From: Ground, Interior Attic Where Observed, Aerial Sky Stick Camera , Interior Home

Vent Stacks/Attic Vent Covers

Condition: Satisfactory

Gutters & Downspouts

Condition: Best Practice

Type: Not Installed

Comments:

CN.

~Gutter and Drainage Considerations: Installing a gutter system should be considered to direct roof runoff away from the foundation; Due to regional winter weather and potential snow slides, any future system must be engineered with high-strength materials and proper sizing; It is recommended that a professional gutter contractor be consulted to design and install a system that safely moves water away from the home.

Exterior Chimney Observations

Condition: Professional Consultation/ Further Evaluation

Type:Brick

Comments:

PC.

~Chimney and Exterior Masonry Maintenance: Observation of the chimney exterior confirmed that the masonry surfaces and crown require professional attention; It is recommended that a certified chimney sweep or mason be consulted prior to taking possession to perform a full interior and exterior evaluation; This service should include pointing of the mortar joints, cleaning, and waterproofing the brickwork to verify the integrity of the flue liner, flashing, and crown to ensure the system remains safe and watertight.



Interior Basement And Attic Chimney Observations

Condition: Safety Improvement

Type:Block

Comments:

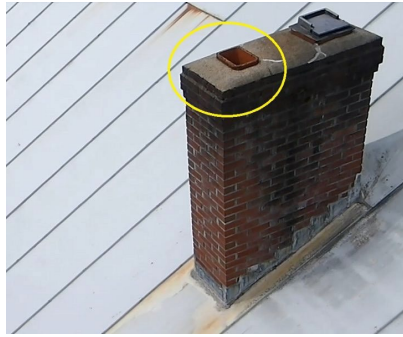
SI.

~Wood Forms In Place: Observation of the structure below the fireplace identified the presence of original wood construction forms; Wood forms are not permitted below fireplace fireboxes or hearths because they create a fire hazard; It is recommended that a professional chimney sweep be consulted during the chimney inspection to evaluate the area and perform the necessary removal of these materials; This professional correction is crucial to ensure the fireplace system is safe for use.

~Boiler Flue and Chimney Integrity: Assessment of the boiler venting system confirmed that a professional chimney inspection and cleaning are necessary maintenance requirements; It is recommended that a certified chimney sweep be consulted to perform a comprehensive evaluation of the flue prior to taking ownership; This professional review should determine the condition of the liner and identify any necessary repairs or installations required to ensure the system is venting safely and effectively.

~Shared Chimney Flue Venting: Observation identified that the boiler and wood stove appear to be venting into the same chimney flue; Sharing a single flue with multiple appliances, especially solid fuel and gas/oil equipment, creates an unsafe venting condition and a potential fire or carbon monoxide hazard; It is recommended that a qualified chimney professional or licensed heating contractor evaluate the installation to confirm the flue configuration and perform necessary corrections to separate the venting systems prior to use.

~Chimney Efflorescence (Attic Space): Observation identified efflorescence (white mineral deposits) on the exterior of the block chimney within the attic space; This condition indicates that moisture is migrating through the masonry structure, which can lead to deterioration over time; It is recommended that a qualified chimney professional or mason evaluate the chimney structure to determine the source of the moisture entry and complete necessary repairs.



Wood Form Use



Section 4: Garage

The Garage is inspected but can be limited due to parked cars or personally stored items. Due to cluttered or inaccessible areas, sections may not be fully inspected during our limited inspection. We suggest that a walk-through be performed once the home is vacant, and the garage is clear. Determining the presence of a Sheetrock heat separation firewall and fire separation doors is included, the fire resistance of any material or construction of the existing wall is beyond the scope of this inspection. Flammable materials should not be stored within the Garage area. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Garage General Observations

Type: Attached Garage

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Where applicable, all components of the Garage to include the floor, garage doors, openers, separation walls and doors, stairs and electrical is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Moisture

Condition: Customer Note/ Sellers Note/ Owners Note

Degree of Moisture : Dampness and Moisture

Comments:

CN.

~Garage Corner Moisture and Dampness: Observation identified dampness and moisture accumulation in the corners of the garage structure; It is recommended that a qualified contractor evaluate the area to determine the exact cause of the water intrusion and complete necessary corrections to eliminate the moisture and ensure a dry space.



Dwelling-Garage Separation Door(s) and Attic Access Panels To Attic and Living Space

Condition: Safety Improvement

Type: Wood

Comments:

SI.

~Fire-Rated Garage Entry Door: Observation identified that the entry door between the garage and living space lacks required fire-rated characteristics and self-closing hardware; These doors must be free of unapproved windows or pet openings; It is recommended that a qualified contractor install an approved fire-rated door assembly and self-closing hardware to meet current building standards and ensure proper separation safety.

Dwelling-Garage Separation Wall, Ceiling Adjacent, Penetrations To Adjoining Living Space

Condition: Safety Improvement

Current Fire Separation Material Types :Wood

Comments:

SI.

~Garage Fire Separation and Penetrations: Observation of the garage identified that the walls, ceilings, and doors adjoining the living space or attic are not properly sealed for fire protection; All shared surfaces, including access hatches and pull-down stairs, require taped sheetrock or other approved fire separation methods to slow the spread of flames and fumes; In addition, any penetrations such as ductwork, electrical lines, or pipes must be properly fire-stopped and approved fire doors fully trimmed; It is recommended that a qualified building contractor be consulted to install the correct materials and thickness conforming to all safety building construction requirements.



Flooring

Condition: Needs Maintenance

Type:Concrete

Comments:

NM.

~Garage Floor Crack Filling and Sealing: Observation of the garage floor identified cracking and surface wear; It is recommended that a qualified contractor professionally fill all cracks and apply a high-quality sealant or coating; All work should follow manufacturer recommendations to protect the concrete and ensure long-term durability.

Floor Drain

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Garage Floor Drain Maintenance: Survey of the garage noted a floor drain(s) that was not functionally tested during this evaluation; It is recommended that the drain be flushed and cleared of debris annually as part of a regular maintenance routine to include the exit point of the drain; Homeowners should verify local municipal or insurance requirements, as some policies or local codes may require these drains to be professionally sealed.

Garage Vehicle Doors

Condition: Safety Improvement

Comments:

SI.

~Garage Overhead Door Plate Glass: Observation identified non-safety plate glass windows installed in the garage overhead vehicle doors; It is recommended that a qualified contractor remove the plate glass and install approved safety glass or impact-resistant panels to eliminate the potential injury risk from breaking glass.

Garage Door Apron

Condition: Needs Maintenance

Comments:

PC.

~Garage Door Apron Maintenance: Observation of the garage noted that the concrete apron is in decline due to age and frost damage; It is recommended that a qualified concrete contractor be consulted to explore methods for repair or replacement; Completing these repairs is important to eliminate the deteriorating condition and ensure a smooth, stable transition at the garage entrance.



Garage Door Opener(s)

Condition: Safety Improvement

Comments:

SI.

~Garage Door Auto-Reverse Safety Failure: Observation of the overhead garage doors identified that the auto-reverse safety mechanism failed to operate when back pressure was applied; This is a critical safety feature designed to prevent injury or entrapment; It is recommended that a qualified garage door technician be consulted to adjust or repair the opener to ensure the door reverses properly when it meets resistance.

~Garage Overhead Door Photo-Eyes Missing: Observation identified that the safety photo-eyes are missing from the garage door opener system, disabling the auto-reverse safety feature; It is recommended that a qualified contractor install approved photo-eye sensors to ensure safe operation.

Receptacles

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Please see Section 12: Garage: Outlets, Fixtures, & Switches notes.

Section 5: Basement / Crawlspace/ Frost Wall/ Slab/Lower Level

Many of the building's structural elements and portions of its mechanical systems are visible inside the Basement and Crawlspace if present. These include the foundation, portions of the structural framing, distribution systems for electricity, plumbing, and heating. Each accessible and visible component and system was examined for proper function, excessive wear or abnormal deterioration and general state of repair. It is not unusual to find occasional moisture and dampness in the Basement and Crawl Space areas, and we advise annual inspections of these areas. Significant or frequent water accumulation can affect the structure's foundation and support system and would indicate the need for further evaluation by a professional drainage contractor or basement water specialist. We advise you to monitor your Basement and Crawlspace during the rainy and snow melt seasons.

Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Basement Description

Condition: Customer Note/ Sellers Note/ Owners Note

Type:Full

Access:Stairs

Comments:

CN.

~Where applicable, all components of the basement/crawlspace to include the floor, columns, moisture, stairs, insulation when visible, floor joist and sub-floor where visible, and receptacles is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Moisture

Condition: Professional Consultation/ Further Evaluation

Moisture Conditions Observed:Dampness and Past Staining , Humidity Level Above 50%

Comments:

PC.

~Basement Moisture And Dampness: Observation of the basement measured a relative humidity level of 64%, which exceeds the ideal range of 45% to 50%; Damp areas in corners and along the front wall with evidence of past staining and efflorescence on the wall and floor surfaces in other parts of the basement; It is recommended that a professional basement water specialist be consulted to determine and correct the cause of the moisture and to prevent future entry; Once these repairs are made, the use of an installed dehumidification system is important to manage humidity and improve air quality.



Dehumidifier and Heat Recovery Ventilation (HRV)

Condition: Best Practice

Comments:

BP.

Options Or Both.

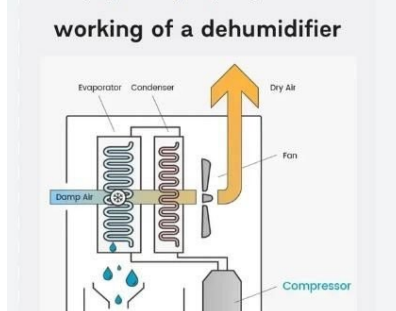
~Unit Not Observed: Enhanced Dehumidifier: During the year, primarily in the summer months, ventilation and dehumidification of the basement/crawl space areas if present is recommended; Humidity levels maintained at 45% to 50% improve the overall living space conditions eliminating excess moisture generated in the basement.

~Unit Not Observed In Basement: Heat Recovery Ventilators (HRV's): Used primarily in cold climates, Heat Recovery Ventilators (HRV's) pass two air streams, one into the home from the outside and the other from inside the home to the outside reducing moisture and air impurities through filtration; To ensure optimal performance and air quality, the units will need to be maintained and operated per the manufacturer schedule to include washing of the filters, vacuuming, wiping down the units interior, and cleaning the exterior intake vents.

~It is recommended that dehumidification and air exchange be added to all below grade areas after corrections to reduce moisture are implemented.



Source: <https://www.origincorp.com/>



Basement/Crawlspace Floor Structure

Condition: Satisfactory

Covering Type (s): Concrete

Foundation

Condition: Needs Maintenance

Type:Block

Comments:

CN.

~Cinder Block Wall Mortar Joint Separations: Observation identified separations and cracking in some of the mortar joints on the cinder block walls due to age and settling over time; It is recommended that a qualified masonry contractor point and fill the joints to ensure the strength of the foundation.



Insulation

Condition: Safety Improvement

Comments:

SI.

~Exposed Paper Backed Insulation: Moisture Retention and Fire Risk: Exposed paper backed insulation products in basements may absorb moisture and are a greater fire risk in the event of an ignition; Options to remove or replace the current insulation with paperless insulation or ignition protected spray foam may be explored.

~Basement Insulation and Blocking Methods: Observation of the basement area noted that modern energy efficiency improvements often involve the installation of spray foam or non-papered fiberglass insulation between the first floor and the top of the foundation; In some instances, these materials are applied to all interior basement walls and wood blocking within crawlspaces to enhance thermal performance; It is recommended that a professional insulating contractor be consulted to discuss the various options and ensure that any current or future installations meet specific ventilation and fire-safety standards.



Basement Stairs / Railings

Condition: Safety Improvement

Type: Wood

Comments:

SI.

~Basement Stair Handrail: Observation of the basement stairs identified that the existing handrail does not meet requirements for a proper graspable design; A handrail that cannot be firmly gripped the full length of the stairs fails to provide adequate stability or support during a slip or fall; It is recommended that a qualified contractor modify or replace the handrail with an approved, graspable rail to meet current building standards and ensure user safety.

~Basement Stairway Guardrail Requirements: Observation of the basement staircase identified that the stairs lack protective guardrails along the open-sided portions and landings; Modern safety protocols advise that guardrails be provided for any elevated transition where a fall hazard exists; It is recommended that a qualified contractor be consulted to install a code-compliant guardrail system with balusters spaced no more than a four inch sphere passing through.



Observed Structure: Rim Joist, Sill Plate, Floor Joists, Sub-Floor, Support Beams, and Columns

Condition: Customer Note/ Sellers Note/ Owners Note

Visibility: Not Fully Visible As A Result Of Fiberglass Insulation Along The Top Of The Foundation.

Comments:

CN.

~Insulated Basement Inspection Limitations: This observation indicates that because of the installed insulation, the main structural beams, floor joists, sub-flooring, and foundation sills were not fully visible for inspection; Consequently, the structural condition of these concealed components is unknown; The limited areas that remained exposed and accessible were found to be in satisfactory condition at the time of the inspection.

Receptacles

Comments:

CN.

~Please see Section 12: Basement/Crawlspace: Outlets, Fixtures, & Switches notes.

Basement Windows

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Blocked Basement Windows: Assessment identified that some basement windows have been covered and sealed with insulation board, preventing access; It is recommended that the insulation boards be removed so the windows can be fully assessed to determine their operational condition, and that any necessary repairs or replacements be completed.



Section 6: Plumbing

Our Inspection of the plumbing system includes a visual examination of the exposed portions of the water supply, drain waste, vent, faucets, fixtures, valves, drains, exposed pipes, and fittings. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint connection, especially in walls, floors, and ceiling voids. A septic/sewer lateral test is necessary to determine the condition of the underground septic/sewer lines. This type of test is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, wells, well pumps, or on site and/or private water storage supply systems, off site community water supply systems, or private (septic) waste disposal systems unless specifically noted. Qualified specialist are available to perform these systems. Our inspection of the water heater includes a visual examination of the accessible portions of the tank, gas, electrical and/or water connections, venting and safety valves. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Dug Well, Point Well, Gravity Fed, Cistern System or Abandon System Installed

Condition: Professional Consultation/ Further Evaluation

Location :Not Located

Comments:

PC.

~VT: Unknown Dug Well Location and Maintenance: Assessment identified that the home is supplied by a gravity-fed dug well, but its exact physical location was not observed during the inspection; The wellhead, cap, and lid assembly must be located, cleared of all debris, and graded to divert surface water away from the well top; All cracks and seams should be sealed to prevent surface moisture and pests from entering the water supply; It is recommended that a qualified professional perform an initial disinfecting, followed by yearly maintenance and testing as outlined going forward by the State of Vermont water quality guidelines.

Water Entrance Material Type

Condition: Satisfactory

Type:Plastic

Location: Basement

Water Service

Condition: Professional Consultation/ Further Evaluation

Type:Private

Comments:

PC.

~Secondary Water Line and Booster Pump: Assessment identified a secondary water line and a booster pump assembly that was unplugged and non-operational at the time of inspection; The exact function, water source, and termination points or connected appliances of this system are unknown; It is recommended that a qualified well service contractor evaluate the entire assembly to determine its purpose and operational condition.



Primary



Secondary

Water Heater

Condition: Safety Improvement

Fuel type: Heating system

Location & Capacity

Location: Basement

Date Of Manufacturing : 1990

Capacity (gallons): 40

Thermostatic Mixing Valve (TMV) Installed : No: Required In Vermont Beginning In 2005 For All Hot Water Heater Installations To Include On Demand Units

Comments:

SI.

~Over time, mineral sediment from the water supply settles at the bottom of the tank; This buildup forces the heating elements to work harder, which reduces efficiency and can cause premature failure; for optimal performance and to prolong the life of the water heater, it is recommended that the tank be flushed annually to remove accumulated sediment; This maintenance task should be performed by a qualified licensed plumbing contractor.

~Missing Thermal Mixing Valve: Observation of the water heater identified that a thermal mixing valve is not installed; While requirements for these valves vary by state, they are a recommended safety feature to prevent accidental scalding by mixing cold water with the hot water leaving the tank; It is suggested that a licensed plumber be consulted to install a mixing valve to ensure safe and consistent water temperatures throughout the home.



IR Hot Water Heater Heat Tracing

Waste

Condition: Professional Consultation/ Further Evaluation

Pipe type:Cast iron, PVC

Septic type:Private Per Listing/Agent/Owner

Comments:

PC.

~Private Septic System Evaluation: Two Exit Point From The Home: This observation indicates that at the time of the inspection, the interior portions of the septic system are functioning with adequate drain flow and no unusual septic odors within the home; However, a comprehensive evaluation of the exterior components is outside the scope of this inspection; A licensed septic professional must be consulted to verify the integrity and functionality of the septic tank, the distribution box, and the leach field; This assessment should include an inspection of the piping and a review of the tank's current condition and pumping history before taking possession of the home.



Waste And Drain Lines Interior Basement/Crawlspace/Above The Slab

Condition: Satisfactory

Type:Copper, PVC

Flow rate:Satisfactory

Water Pipes, Valves Conditions

Condition: Satisfactory

Type:Copper

Interior and or Exterior Septic/Sewer Vent Stack Pipe

Condition: Satisfactory

Exterior Water Faucets and Shower If Present

Condition: Customer Note/ Sellers Note/ Owners Note

Operating:Water On

Comments:

CN.

~Seasonal Use: After the end of the summer season it is important to remove all hoses, trace and shut off outside water faucets if applicable; If installed, all outdoor shower systems need to be winterized.

Section 7: Oil Fired Hot Water/Steam Boiler

Our examination of any heating system includes a visual examination of the exposed and accessible heating equipment, thermostat, venting and the means of air distribution. Our inspection of the heating system includes activating the heating system via the thermostat and a visual examination of the accessible components listed below. These items are examined for proper function, excessive or unusual wear and general state of repair. Heat exchangers are inaccessible by design and are not part of the inspection standards of practice. They must be completely removed from the heating system type to be fully evaluated. Our inspection does not include disassembly of the heating system or determining the heating adequacy of the heating system. The inspector cannot activate heating systems where emergency switches are in the off position. The inspector does not test safety devices. To obtain maximum efficiency and reliability from your heating system, we recommend servicing of heating systems before taking possession of the unit(s) if applicable and annual servicing and inspections by a qualified heating specialist going forward. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Oil Fired Heating System

Condition: Professional Consultation/ Further Evaluation

Type:Boiler

Fuel Type:Oil

Heating System Data

Boiler Location Unit: Basement

Boiler Date Of Manufacturing Unit: 1992

Boiler Capacity Unit: 120,000 @ 1 GPH

Thermostat Location(s): Various

Comments:

PC.

~Boiler Heating Season Servicing: Assessment identified that the last service date for the boiler: 4/2024; To set a baseline operating condition before taking possession, the boiler and all attached heat distribution components, including circulation pumps, must be fully reviewed and cleaned; It is recommended that a licensed heating contractor service the system, clean the boiler shroud and connecting pipes of corrosion and scale, vacuum the interior, and wipe down all surfaces; Oil-fired boilers require annual servicing to ensure safe and satisfactory exhaust and mechanical operation; Enrolling the system in a professional service plan or home warranty for ongoing protection and emergency repair coverage should be considered.

~The cause of the seepage at the drain valve at the base of the boiler will need to be determined and corrected at the boilers service.



IR Boiler Operation

Oil Tank(s)

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Vermont: At Equipment Service: Oil Delivery Company 2017 Tank Verification and Sign Off: The existing tank is operational but proof of the 4 year inspection requirement was not verified; 2017 oil tank inspection and regulatory requirements require the oil company to inspect the tank every 4 years; It is recommended the oil delivery company be contacted to have the tank inspected and signed off as acceptable for fuel oil delivery before taking possession of the tank.

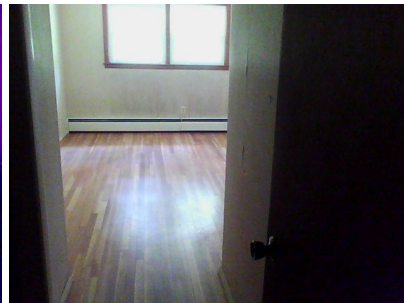
~A tipped oil tank venting line was observed at the rear of the home; The lines function will need to be determined and the line removed.

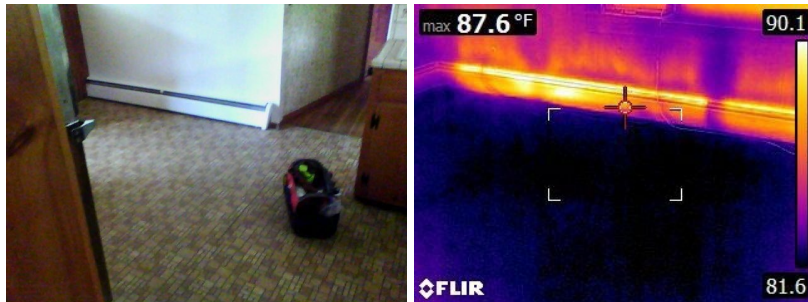


Heat Distribution

Condition: Satisfactory

Type: Baseboard





Unit Venting

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Boiler Exhaust and Flue Inspection: Observation of the boiler identified the need for a comprehensive service that includes a full inspection of the exhaust system; It is necessary for a qualified HVAC technician to verify that the flue is properly sealed, clear of obstructions, and venting combustion gases safely to the exterior; Ensuring the integrity of the exhaust system is important to prevent dangerous carbon monoxide from entering the home and to maintain peak heating efficiency.

Section 7: Fireplace(s)

Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Fireplace Service

Condition: Professional Consultation/ Further Evaluation

Accessories Installed :Chimney Top Damper

Comments:

PC.

~Fireplace and Chimney Maintenance: It was noted that if not already completed this season, all fireplaces, surrounds, hearths, ash pits, and flues require professional cleaning and a full safety evaluation before further use; a certified chimney sweep should be consulted to identify and correct any safety deficiencies to ensure the system functions properly; ongoing annual inspections are essential for the safe operation of all masonry and venting components.

~The chimney top damper chain was not located; The chain will need to be confirmed at the chimney service.



Section 7: Wood Stove

Wood Stove Service

Condition: Professional Consultation/ Further Evaluation

Location: Basement

Comments:

PC.

Basement.

~2026/27 Heating Season: If not completed this year, all woodstoves in the home will require cleaning, inspecting, and any safety deficiencies corrected before use by a professional chimney service/Chimney Sweep and ongoing on a yearly basis to ensure the stove and chimney are safe and function properly.



Section 7: Cooling

This is a visual inspection limited in scope by (but not restricted to) the following conditions: Window and/or wall mounted air conditioning units are not inspected. The cooling supply adequacy or distribution balance are not inspected. Pressure tests on coolant systems are not within the scope of this inspection; therefore no representation is made regarding coolant charge or line integrity. Judgment of system efficiency or capacity is not within the scope of this inspection. Cooling systems are not dismantled in any way, and secured access covers are not removed. The interior components of evaporators, condensers and heat pumps are not viewed. The interior conditions of cooling components are not evaluated. The presence of leaking refrigerant lines, heat pump oil, etc., is outside the scope of this inspection. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Cooling System Service

Condition: Professional Consultation/ Further Evaluation

Status:Not tested

AC Unit Data

Date Of Manufacturing : 2010

Capacity: 1

Location:Side Of Home

Last Service Date: Not Determined

Comments:

PC.

Large Family Room.

~Ductless Mini-Split Deficiencies: Assessment identified that the ductless mini-split air conditioning system is non-operational and features multiple exterior and interior deficiencies; The remote control was not located, the exterior refrigerant line sets are missing required insulation and the vegetation around the unit needs to be removed; On the interior wall head unit, dust and dirt accumulation along with a damaged cover housing were observed; It is recommended that a licensed HVAC contractor fully evaluate and service the installation to clean components, replace missing insulation, and determine if the unit can be repaired or requires replacement.



Section 8: Interior

Our inspection of the Interior includes a visual inspection of the readily accessible portions of the walls, ceilings, floors, doors, cabinetry, countertops, steps, stairways, balconies and railings. Please note that a representative sample of the accessible windows and electrical receptacles are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of furnishings and personal items. In these cases some of the items may not be inspected. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather, and lighting conditions. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Where applicable, all components of the interior to include floor structure, ceilings, interior doors, moisture damage, windows, and stairs are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Ceilings

Condition: Satisfactory

Type: Drywall

Ceiling/Wall Asbestos Characteristics Material Use

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Textured Ceiling Material Advisory: Observation of the home's interior noted the presence of textured ceilings (often called "popcorn" ceilings); Because some textured finishes used before 1986 contained asbestos, it is recommended the ceiling be sampled by a certified asbestos testing company before any scraping, removal, or renovations are completed involving the ceiling surfaces.

Walls

Condition: Satisfactory

Type: Drywall

Interior Doors

Condition: Satisfactory

Windows

Condition: Professional Consultation/ Further Evaluation

Type:Double hung, Casement

Material:Vinyl, Wood

Glass Properties:Combination Of Insulated and Non-Insulated Glass , Single Pane With Interior Storm Windows

Comments:

PC.

~Casement Window Deficiencies: Evaluation revealed that several casement window units are difficult to operate or stuck in place; The tracks, hinges, locks and operator mechanisms require cleaning, lubrication, and adjustment to ensure smooth operation; It is recommended that a qualified window technician evaluate the windows to perform necessary servicing or determine if hardware or window replacement is required to ensure a functional, weather-tight seal.

Interior Floor Structure

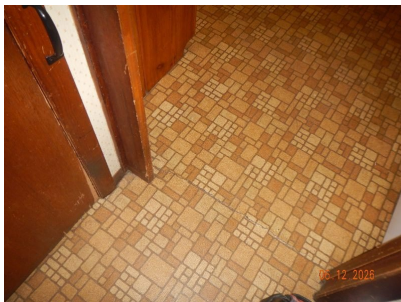
Floor Structure Condition: Does Not Include Floor Covering Types Condition To Include Cracks, Finish, Separation, Wear and Tear, Stains, Etc (not in inspection scope): Professional Consultation/ Further Evaluation

Floor Covering Types:Hardwood, Vinyl

Comments:

CN.

~Kitchen-to-Laundry Threshold Settling and Crack: Evaluation revealed evidence of a settlement crack at the threshold between the kitchen and laundry room, which has caused the flooring in that area to crack; It is recommended that a qualified contractor determine and correct the underlying cause of the settling before new flooring material is installed.



Energy Savings Tip: Air Sealing

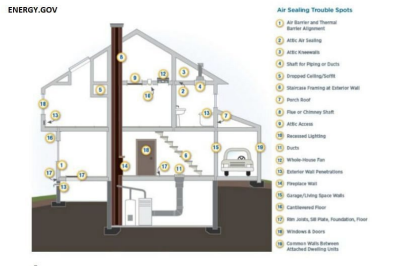
Condition: Best Practice

Comments:

BP.

~Source: Energy.gov: "Reducing the amount of air that leaks in and out of your home is a cost-effective way to cut heating and cooling costs, improve durability, increase comfort, and create a healthier indoor environment; Caulking and weather-stripping are two simple and effective air-sealing techniques that offer quick returns on investment, often one year or less; Caulk is generally used for cracks and openings between stationary house components such as around door and window frames, and weather-stripping is used to seal components that move, such as doors and operable windows;" Properly sealing wall light

switches and electrical receptacles is another area for improved air sealing.



Full Home Energy Audit

Condition: Best Practice

Comments:

BP.

Please Contact Your Electric Utility Provider.

-A home energy audit, also known as a home energy assessment, can help you understand the whole picture of your home's energy use; An audit can help you determine how much energy your home uses, where your home is losing energy, and which problem areas and fixes you should prioritize to make your home more efficient and comfortable; A home energy audit should be your first step before making energy-saving home improvements, as well as before adding a renewable energy system to your home.

Laundry Room

Condition: Safety Improvement

Dryer: Gas

Location:First Floor

Washing Machine :Not Tested: Confirmation Needed For New Buyer

Comments:

Sl.

~Gas Clothes Dryer Performance: Identification of the gas-fired clothes dryer detected an unusually loud flame burner noise while the unit was in operation; This condition may indicate a need for burner adjustment, cleaning, or a component repair to ensure safe and efficient combustion; It is recommended that a qualified appliance technician be consulted to evaluate the burner assembly and perform any necessary servicing or replacement prior to taking ownership and use.

-Important Fire Protection Maintenance: At Move In And Ongoing: Washer and Dryer Behind and Under Unit Clean-up: An important maintenance task for fire prevention, the areas behind the washer and dryer cleaned and vacuumed of all lint, dust and objects that find their way behind the units over time; The dryer vent and all connecting venting hoses should be cleaned and if plastic vent pipes discovered replaced with metal and the termination point outside the home confirmed; The clothing washing machine plumbing and drain connections should be reviewed for proper installation and shut off ability; The clothing washing machine is not tested as part of the inspection due to the possibility of leaving water in the unit; Verification of the units operability should be made with the seller if the unit is part of the sale.



Moisture

Condition: Satisfactory

Observation :None

Section 9: Kitchen

Inspection of ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection to inspect below or behind them. Portable dishwashers are not inspected, as they require connection to facilitate testing and are sometimes not left with the home. Some kitchens with private septic systems are outfitted with garbage disposals. The use of garbage disposals in general and type of garbage disposal should be discussed with the septic professional to determine the impact of garbage disposal use and the long term impact on the septic system. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Location : First Floor

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Where applicable, all components of the kitchen to include the cabinets, counters, dishwasher (start and drain), disposal, flooring, microwave, moisture, range/oven, refrigerator, sink and ventilation is inspected: The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Cabinets

Condition: Needs Maintenance

Comments:

NM.

~Cabinets and Drawers: Adjustments; To maintain the life expectancy of the cabinets, adjustments and tightening the cabinet doors, and drawer fronts/slides should be made to properly operate the cabinets.

Counters

Condition: Professional Consultation/ Further Evaluation

Type:Tile

Comments:

PC.

~Kitchen Tile Countertop Deterioration: Evaluation revealed that the tile kitchen countertops are showing signs of age and heavy use, including cracked tiles and missing grout; It is recommended that a qualified contractor assess the countertop surfaces to determine if they can be repaired by replacing damaged tiles and filling missing grout, or if full replacement is necessary to restore a clean, properly sealed, and durable finish.

Flooring

Type:Linoleum

Range / Oven

Condition: Safety Improvement

Operation Status :Operating

Fuel:Gas, Electric

Comments:

SI.

~Range Hood and Cooktop Clearance: Observation of the kitchen identified that the vertical clearance between the cooktop and the overhead materials is too close; Safety standards typically require 30 inches of clearance, though some approved materials allow for a minimum of 24 inches; It is advised that a qualified appliance installer review the setup to ensure it meets safe building standards and prevents fire risks.

Ventilation

Condition: Safety Improvement

Fan Vents to:Attic

Comments:

SI.

~Kitchen Vent Ductwork Terminated in Attic: Evaluation revealed that the kitchen exhaust vent ductwork terminates directly inside the attic space rather than extending to the building exterior; This improper termination creates a fire risk and introduces moisture into the attic; It is recommended that a qualified contractor properly route and construct the ductwork to the exterior of the home in accordance with current building standards and approved material type.



Refrigerator

Ice Maker :No Ice Maker

Receptacles

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Please see Section 12: Kitchen: Outlets, Fixtures, & Switches notes.

Section 10: Bathroom 1

Our inspection of the bathrooms included a visual examination of the readily accessible portions of the floors, walls, ceilings, cabinets, countertops, and plumbing fixtures. Bathrooms are inspected for water drainage, damage, deterioration to floor and walls, proper function of components, active leakage, unusual wear and general state of repair. Bathroom fixtures are run simultaneously to check for adequate water flow and pressure. Fixtures are tested using normal operating controls. Vent fans and their ductwork are tested for their proper operation and examined where visible. Shower pans are visually checked for leakage but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain all grout and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Location: Primary Bathroom

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

Primary Bath.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, showers, GFCI's, moisture, and flooring is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Ventilation

Condition: Professional Consultation/ Further Evaluation

Comments:

AI.

~Missing Bathroom Ventilation: Observation of the bathroom noted that a functional exhaust vent is currently absent; Without a venting system, moisture from the shower can build up, which often leads to peeling paint or mold growth on the walls and ceiling; It is recommended that a qualified contractor be consulted to install a ducted exhaust fan to help manage humidity and protect the interior finishes.

Receptacles

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Please see Section 12: Bathroom(s): Outlets, Fixtures, & Switches notes.

Bathroom Entrance Door

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Missing Door: The bathroom door is missing and will need to be installed.

Section 10: Bathroom 2

General Observations

Location: First Floor Hallway

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

First Floor Hall.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, shower, GFCI's, moisture, flooring, entrance door and water pressure is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Bathtub

Type:Built-in

Ventilation

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Missing Bathroom Ventilation: Observation of the bathroom noted that a functional exhaust vent is currently absent; Without a venting system, moisture from the shower can build up, which often leads to peeling paint or mold growth on the walls and ceiling; It is recommended that a qualified contractor be consulted to install a ducted exhaust fan to help manage humidity and protect the interior finishes.

Shower

Condition: Professional Consultation/ Further Evaluation

Type:Ceramic tile

Comments:

PC.

~Loose Tile and Moisture Damage: Evaluation revealed loose tiles, damaged wall surfaces, and heavy caulking, indicating moisture penetration behind the tile assembly; It is recommended that a qualified contractor remove the affected tile, repair all hidden wall damage, and reinstall a properly sealed wall finish.



Floor

Type: Vinyl (Linoleum)

Section 10: Bathroom 3

General Observation

Location: First Floor Hall Half Bath

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

First Floor Half Bath.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, shower, GFCI's, moisture, flooring, entrance door and water pressure is inspected; All of the components inspected satisfactory unless listed.

Receptacles

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Please see Section 12: Bathroom(s): Outlets, Fixtures, & Switches notes.

Floor

Type:Vinyl (Linoleum)

Entrance Door

Condition: Needs Maintenance

Comments:

NM.

~The bathroom entrance doors is not latching properly and needs to be adjusted to close and lock completely.

Section 11: Attic

Our inspection of the Attic includes a visual examination of the roof framing, roof sheathing, plumbing, electrical, and mechanical systems. There are often additional items like heating/cooling ducts, bathroom vent ducts, electrical wiring, chimneys and other appliance vents in the Attic. We examined these systems and components for proper function, unusual wear and general state of repair, and venting. When low clearances and deep insulation prohibits walking in an unfinished Attic, inspection will be from the access opening only. Vaulted ceilings cannot be inspected. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Conditions

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Where applicable, observed and accessible: All components of the Attic to include the stairs if applicable, roof framing, roof sheathing, attic venting, vent pipes and flashing, moisture, wire conditions and properly installed insulation are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Attic Access: Blocked, Observation From The Ladder Position: Pest, Small Opening, Stairwell Opening or Blown Insulation or Vermiculite, Sealed Peak

Location: Basement Stairwell

Condition: Safety Improvement

Observation Position: Scuttle Hole

Comments:

SI.

~Attic Access Location Deficiencies (Basement Stairwell): Assessment identified that the attic scuttle hole is located directly above the basement stairwell opening; Due to the severe fall hazard of climbing into and out of this opening over an open stairwell, the attic inspection was performed from a limited ladder position using a strong flashlight to view the space; Visible areas indicated satisfactory conditions except where noted; It is recommended that a qualified contractor seal this scuttle hole and relocate the attic access hatch to a safer, level space in the home, such as a hallway or closet ceiling, allowing for a full inspection of the attic space.



Interior Roof Structure

Condition: Satisfactory

Type:Truss, Dimensional Lumber Sheathing

Moisture Evidence

Condition: Satisfactory

Observed Condition:None

Attic Ventilation

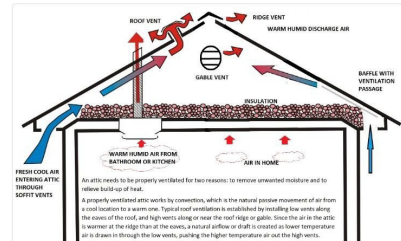
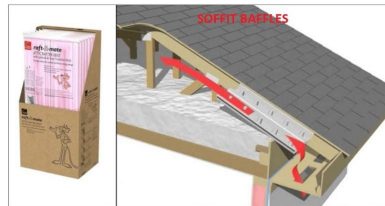
Condition: Professional Consultation/ Further Evaluation

Type:Gable Louvers, Soffit Vents

Comments:

PC.

~Attic Ventilation: Observation of the attic space confirmed that the existing soffit vents are blocked or improperly installed; To provide the best venting condition, the installation of attic soffit baffles and properly sized gable end venting or an alternative method is recommended to allow heat to move effectively out of the space during summer months and moisture in the winter; It is suggested that a professional insulation and venting company be consulted to correct the airflow and ensure the attic remains dry and well-ventilated.



Bathroom/Kitchen Vent Termination/ Waste Vent Pipes/ Flashing

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Please see Section 9: Ventilation note.

Insulation: Attic/Knee Wall

Condition: Customer Note/ Sellers Note/ Owners Note

Type of Insulation Present:Batts

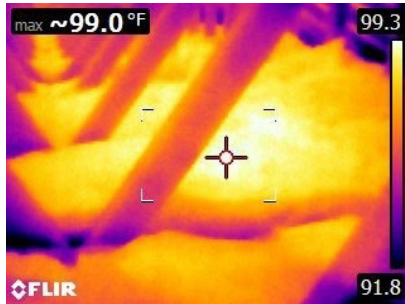
Insulation Location(s):In-floor

Comments:

CN.

~Attic Insulation Present: Observation of the attic space confirmed the presence of batted insulation with an estimated R-value of 21 (confirmation of the actual R-value will need to be made at the energy audit); This current level is below the newer recommendation of R-49 for this region; It is recommended that a professional insulation contractor be consulted to achieve the desired R-value; It is suggested that you contact your local electric utility provider to discuss available programs or rebates to determine the best next steps for improving the home's energy efficiency.

~Existing Insulation Removal and Preparation: Notice of the attic cavity identified that a complete removal of existing insulation, including vacuuming of the space, is the most effective preparation for an upgrade; This method allows for the removal of dated or pest-damaged material and provides clear access for a full electrical inspection; It is recommended that you contact your local electric utility provider for guidance on qualified contractors and potential rebates available for comprehensive air sealing and insulation removal.



Thermal Bridging (Purple: Summer Cooling Loss) Along Insulation

Section 12: Electrical

Our examination of the electrical system includes a visual examination of the exposed and accessible branch circuits, wiring, service panel, overcurrent protection devices, lighting fixtures, switches, and receptacles. Service equipment, proper grounding, and wiring methods. We inspect for adverse conditions such as improper grounding, over fusing, exposed wiring, open air wire splices, and defective GFCI's. The hidden nature of the electrical wiring prevents inspection of every length of wire or their connections. Telephone, video, cable, audio, security systems and other low voltage systems were not included in this inspection. Any electrical repairs need to be completed by a licensed electrician. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection. Smoke Alarms should be installed per state requirements and maintained and changed per manufacturer recommendations to include monthly testing. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Service Entrance

Condition: Safety Improvement

Volts: 120/240

Type: Overhead

Capacity: 200

Location: Side Of Home

Comments:

SI.

~Electrical Service Tree Trimming: Observation of the exterior electrical service identified that tree limbs are growing close to or are in direct contact with the overhead service lines; This contact can cause power interruptions or damage to the home's electrical system during limb failure events or windy conditions; It is recommended that the local utility provider be contacted to safely trim the branches away from the wires; Do not perform this work on your own as service lines can cause serious injuries or death.

~Improperly Terminated Wires At Service Location: Assessment identified improperly terminated electrical wires at the exterior service meter location; Unprotected wires pose an electrical shock and fire hazard; It is recommended that a licensed electrician evaluate the installation to properly terminate the wires inside an approved exterior junction box or remove the abandoned conductors entirely.



Generator

Condition: Safety Improvement

Comments:

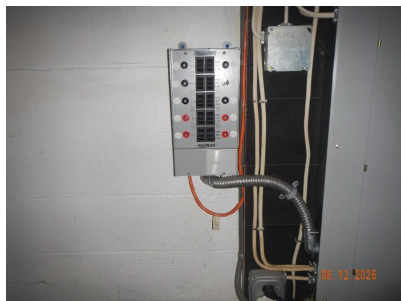
SI.

~Standby Generator: Auto Transfer Switch; Active Control Status: The home is equipped with a 12 kW

propane fired exterior power generation unit and auto transfer switch gear at the electrical meter; The unit is inspected for exterior defects, vegetation blocking air intake ports, and last service date indications; The unit is not live tested as part of the home inspection scope; A licensed electrical contractor or service company servicing the generator should be consulted about the current service status and verification of the units operation, all connecting service wires, oil condition, the electrical circuits and systems supported by the generator and all transfer switching off and back onto the utility service.

~Backup Generator Service Plan: It is recommended that a comprehensive service plan including emergency repair coverage be established; This proactive approach ensures the unit remains reliable and fully operational during power outages.

~Second Source Portable Generator and Manual Transfer Switch: The home is equipped with a portable generator and manual transfer switch at the electrical panel; The switch is not tested as part of the home inspection scope; A licensed electrician should be consulted about the removal of the second source.



Main Panel(s)

Condition: Safety Improvement

Location: Basement

Volts:120/240

Capacity:200 A

Type and Presence :Circuit-breakers, AFCI Breaker(s) Not Present

Panel Manufacturer (s) :GE

Subpanel Designation :Yes

Properly Grounding & Bonding

Grounding:Not Grounded Properly

Comments:

SI.

~New construction requirements are in place, and the electrical panel will need to be reviewed by a Licensed Electrician to perform the identified recommendations or other repairs identified by them in their assessment; In some cases, a need to upgrade the panel will be made based on the ability of the panel to accommodate the identified recommendations.

~Circuit Labeling and Verification: It is recommended that the labeling be professionally updated to accurately reflect the current use of all areas in the home; Proper labeling is essential for safety during maintenance and in the event of an emergency.

~AFCI Circuit Protection Recommendation: It was noted that the panel lacks Arc-Fault Circuit Interrupter (AFCI) protection; Current safety standards require AFCI protection for nearly all 15 and 20-amp branch circuits in residential living areas, including bedrooms, living rooms, and hallways; It is recommended that these specialized breakers be installed to enhance the fire safety of the home's electrical system. ~Electrical Panel Screws: Observation of the electrical panel identified that the cover screws were only partially installed; Loose or incomplete fastening leaves the panel cover unsecure, which can allow accidental contact with live electrical components; It is recommended that a licensed electrician evaluate the panel threads and fully install approved, blunt-tip panel screws to ensure safety.

~Neutral and Ground Conductor Separation: This entry refers to the electrical panel, which requires a professional review to ensure the proper isolation of neutral (white) and ground (copper) conductors; It is recommended that a licensed electrical contractor be consulted to determine the specific wiring requirements and to evaluate the number of conductors terminated per slot to ensure compliance with current safety standards. ~Surge Protection for Sensitive Equipment: Evaluation of the electrical system revealed that a Surge Protective Device (SPD) is currently missing; Modern homes contain sensitive electronics and appliances that are vulnerable to high-voltage spikes; It is recommended that a whole-house surge protector be installed within the panel to mitigate the risk of damage from external power surges.

~Sub-Panel Wiring Designation: This entry refers to the main electrical panel, which requires rewiring to meet sub-panel configuration standards; Because the primary service disconnect is located at the exterior meter, the interior panel must be isolated according to sub-panel rules; The specific requirements for separating the neutral and ground conductors must be determined and corrected by a licensed electrical contractor to ensure the system is safe and code-compliant.



Wiring Methods Observed In The Structure

Type of wiring:Non-Metallic Sheathed Cable, Metal Clad (MC), Builders Wire

Sub Panel 1

Condition: Safety Improvement

Location: Basement

Volts:120- 240V

Capacity:Not Determined

Type and Presence :Circuit-breakers

Comments:

SI.

~Subpanel and Unprotected Cable Deficiencies: Assessment identified unprotected non-metallic sheathed cable ("builder's wire") routed to a 240-volt outlet in the basement; Exposed electrical cables are subject to physical impact and require mechanical protection; Additionally, this basement outlet requires ground-fault circuit-interrupter (GFCI) protection for safety; It is recommended that a licensed electrician perform a full review of the subpanel wiring, circuit dedication, install proper GFCI protection, and secure all exposed cables within an approved conduit sleeve.



General Observation(s): Outlets, Fixtures, and Switches

Condition: Safety Improvement

Testing Information

Testing Method: GFCI Test Light

Outlets Tested For

- Reverse polarity
- Non-GFCI
- Ungrounded

Comments:

SI.

~Electrician Walkthrough and Repair Needed After The Areas Are Emptied: Home and Garage and Outbuildings If Present: Commonly found in most properties and sometimes as a result of limited observation due to items and furniture in the home, a room by room and area review will need to be completed; Any missing/ damaged light fixtures, light switch and plug covers, improperly terminated or loose wires, or missing junction box covers installed and not identified during the inspection will need to be repaired.

~Where Applicable: All GFCI to include exterior outlets, AFCI outlets and circuits will need to be tested at move in and ongoing per manufactures recommend intervals to ensure the outlets and circuits trip and reset properly.

~Licensed Electrician: All repairs will need to be performed by a licensed electrician.

Exterior: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Decks: Exterior stairways require the installation of an artificial light source located at the top and bottom of the stairs to fully illuminate the stairway and controlled from within the home; It is recommended a review of the deck lighting be performed after hours to determine the correct placement of the lights to determine the stairways are properly lighted.

~Deck GFCI Receptacle Installation: Observation of the deck areas noted that the required electrical receptacles are missing; It is necessary for a licensed electrician to install new GFCI-protected outlets, and weather-tight "in-use" covers; Adding these receptacles is essential to ensure safety and meet current standards for deck locations. ~Two Wire Outlets Observed: Exterior GFCI Receptacle Requirement: Identification of the home's perimeter established that no Ground Fault Circuit Interrupter (GFCI) outlets are currently installed on the front or rear exterior; For safety and convenience, it is suggested that outlets equipped with weather-resistant covers be added to these areas; It is recommended that a licensed electrician be consulted to install these components to ensure the home meets current electrical safety standards for outdoor power use.

Detached Structure/Shops/Pool Houses/Greenhouses Fixtures and Switches

Condition: Safety Improvement

Comments:

SI.

~Outbuildings Not Inspected: Observation of the property identified one or more outbuildings that were not evaluated as part of this inspection package; If electrical power is present, it is advised that a licensed electrician perform a professional review of any sub-panels and wiring to ensure safety; This evaluation should include verifying that all receptacles are equipped with proper GFCI protection to eliminate electrical hazards and ensure safe operations.

Garage Or Shop: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Garage Outlets Lack GFCI Protection: Assessment identified that the electrical outlets in the garage are not GFCI (Ground Fault Circuit Interrupter) protected; Unprotected outlets in damp locations or areas with concrete floors present an elevated shock hazard; It is recommended that a licensed electrician modify the circuit to install GFCI protection for all garage outlets to ensure safe operational conditions.

~240 Volt GFCI Protection And Builders Wire: Not Installed: GFCI electrically protected 240 Volt receptacles are required in the garage and all exposed conductors installed in conduit and properly connected to the outlet.



Basement/Crawlspace: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Basement and Finished Space GFCI Protection: Evaluation of the basement revealed that several electrical receptacles lack required Ground Fault Circuit Interrupter (GFCI) protection; Current safety standards identifies receptacles in below-grade, unfinished, and finished areas to be GFCI protected to mitigate the risk of electrical shock; It is recommended that a licensed electrical contractor be consulted to evaluate the installation of GFCI devices for all required basement circuits.

~Improperly Terminated Wiring: Evaluation of the electrical system revealed wires that are not properly terminated; It is recommended that a licensed electrician be consulted to evaluate these locations and install approved junction boxes and covers where required; This will ensure all wiring is properly protected and secured according to safety standards.

~Basement Stairwell Lighting Missing: Basement home stairwells need to be properly lighted and have the ability to be turned on and off from both the bottom and top of the stairs.

~Missing cover plates on electrical junction boxes were observed in the basement.

Laundry: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Laundry Area GFCI Protection: Evaluation of the laundry room revealed that the outlets serving the appliances (to include the dryer) may not have Ground Fault Circuit Interrupter (GFCI) protection; It is recommended that a licensed electrician be consulted to evaluate the circuit and install GFCI protection as needed; This upgrade is suggested to enhance safety in areas where water and electrical components are in close proximity.

First Floor: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Ungrounded Two-Wire Electrical Circuits: Observation identified that portions of the home utilize an older two-wire electrical system lacking an equipment grounding conductor; It is recommended that a licensed

electrician evaluate the system to upgrade key circuits or install GFCI protection to ensure user safety and protect modern electronic equipment.

~Open Ground And Reversed Neutral Outlet Evaluation: Evaluation of the electrical system revealed the presence of three-prong outlets that lack a functional grounding connection with blocked grounding points and reversed polarity; Current safety protocols require proper grounding and polarity to ensure the safe operation of modern appliances and surge protectors; It is recommended that a licensed electrical contractor be consulted to perform a comprehensive review of the home's receptacles and perform the necessary repairs to establish a safe and grounded electrical system.

Kitchen: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Dishwasher GFCI Protection: Evaluation of the kitchen electrical system revealed that the dishwasher circuit may lack Ground Fault Circuit Interrupter (GFCI) protection; It is recommended that a licensed electrical contractor be consulted to determine the specific wiring requirements and to evaluate the installation of a GFCI receptacle or breaker; This safety enhancement is recommended to provide protection for electrical components in close proximity to water sources.

~Limited Kitchen Countertop Receptacle Spacing: Observation of the kitchen noted that the current countertop receptacle spacing does not meet modern standards for new kitchen installations; It is advised that additional properly spaced and GFCI-protected outlets be installed; Upgrading the receptacle spacing is important for both convenience and safety to ensure the kitchen meets current building standards.

~Missing Kitchen GFCI Protection: Assessment identified that the electrical outlets in the kitchen lack required GFCI (Ground Fault Circuit Interrupter) protection; It is recommended that a licensed electrician evaluate the kitchen circuits to install approved GFCI outlets or breakers to ensure a safe electrical environment.

Bathroom(s): Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Primary Bath Non-Functional Bathroom GFCI Outlet: Observation of the bathroom identified an installed GFCI outlet that is not working and failed to trip when tested; It is recommended that a licensed electrician be consulted to replace the faulty outlet to ensure the bathroom electrical system is safe and functional.

~1/2 Bath GFCI Protection Near Sink: Observation of the bathroom identified that there is no Ground Fault Circuit Interrupter (GFCI) protected outlet within 3 feet of the sink; Modern safety standards require GFCI protection near all water sources to prevent electrical shock; It is recommended that a licensed electrician be consulted to install a GFCI outlet to meet current safety requirements.

Smoke and CO Detection

Condition: Safety Improvement

Comments:

SI.

~Smoke and Carbon Monoxide Detection Compliance: Evaluation of the home's detection systems was limited to a visual confirmation of presence as units are not removed or tested during this inspection; It is

recommended that a qualified professional be consulted prior to taking possession to verify the location, age, sensor type—specifically the use of ionization and photoelectric technology—and whether the units are hard-wired or battery-operated; The professional should confirm if CO detection is present or missing in current units and ensure the system meets State Fire Marshal standards; Any units exceeding ten years of age should be replaced and a maintenance schedule established for weekly testing and regular battery replacement.

Current Status.

~Smoke: Units Not Present: Full Review and Upgrade

~CO: Confirmation Required When The Units Are Installed And Upgraded.

Attachments Below.

~Vermont State Info: Sellers Responsibility In Vermont.

~Additional National Fire Protection Association Smoke Detection Information Link:

~Additional National Fire Protection Association Information: <https://www.nfpa.org/education-and-research/home-fire-safety/smoke-alarms>

Residential Single Station Smoke Alarm (Detector) Installation Guidelines						
	Designatory	Test	Approved for Energy	Approved for Energy	Reference	Notes
1	NEW BUILDING	ALL OTHER DOWELING UNITS	Pre-wired units are required to be installed.	Pre-wired units are required to be installed.	See Section 7.1.1	Alarm type depends on the alarm type.
2	EXISTING BUILDING	ALL OTHER DOWELING UNITS	Pre-wired units are required to be installed.	Pre-wired units are required to be installed.	See Section 7.1.1	Alarm type depends on the alarm type.
3	General Alarm Items	1. Smoke alarm and/or sensor is tested prior to being placed in the area of manufacture.	1. Smoke alarm and/or sensor is tested prior to being placed in the area of manufacture.	1. Smoke alarm and/or sensor is tested prior to being placed in the area of manufacture.	1. Smoke alarm and/or sensor is tested prior to being placed in the area of manufacture.	1. Smoke alarm and/or sensor is tested prior to being placed in the area of manufacture.



Western Department of Public Safety

DIVISION OF FIRE SAFETY

OFFICE OF THE STATE FIRE MARSHAL AND THE STATE HAZARD TEAM

Redacted version only



CARBON MONOXIDE ALARM REQUIREMENTS

Scenario	Code Reference	Details	Notes
Existing 1 or 2 family dwellings	OTFCF Page 10.1.1.1 Section 10.1.1.1	Outside each sleeping area in the immediate vicinity of the sleeping area, as an additional sleeping area that contains a sleeping appliance that is a fixed sleeping appliance.	As a condition of the building approval, the alarm is provided for the sleeping area by a certified alarm system.
House of 2 Family Dwelling constructed after 1 October 2009	OTFCF Page 10.1.1.1 Section 10.1.1.1	Outside each sleeping area in the immediate vicinity of the sleeping area, as an additional sleeping area that contains a sleeping appliance that is a fixed sleeping appliance.	As a condition of the building approval, the alarm is provided for the sleeping area by a certified alarm system.
Existing Apartment (3 or more units)	OTFCF Page 10.1.1.1 Section 10.1.1.1	Outside each sleeping area in the immediate vicinity of the sleeping area, as an additional sleeping area that contains a sleeping appliance that is a fixed sleeping appliance.	As a condition of the building approval, the alarm is provided for the sleeping area by a certified alarm system.
New Apartment Building/Condo (3 or more units)	OTFCF Page 10.1.1.1 Section 10.1.1.1	Outside each sleeping area in the immediate vicinity of the sleeping area, as an additional sleeping area that contains a sleeping appliance that is a fixed sleeping appliance.	As a condition of the building approval, the alarm is provided for the sleeping area by a certified alarm system.

[illegible]

*Install and maintain detectors in accordance with the manufacturer's installation instructions and NFPA 720.

<end of report>