



River Valley Home Inspections LLC

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It was a pleasure completing your property inspection. As you will read, the inspection report consists of a detailed list of observations of different components and elements present in and outside the property with photographs of the property.

I have identified areas of the property that will need to be addressed to ensure the safety, proper operation and function of those components. I recommend you obtain consultation from competent trade specialists as an aid in planning your future course of action for such elements listed in this report. Additional reportable elements may be discovered during property repairs and upgrading.

Please feel free to contact me with any additional questions you may have concerning the report content. It has been a pleasure to serve your property inspection needs.

Thank You,
Dave

David M. DeSimone
River Valley Home Inspections LLC
Board Certified and Licensed in New Hampshire and Vermont

This report is solely for the benefit of the Client. Any person or party designated by the Client to receive information in this report shall be subject to all Terms and Conditions contained herein and in the signed Inspection Agreement.

REPORT DEFINITIONS

Your professionally prepared inspection report is divided into twelve to thirteen sections. Each section contains individual elements that are inspected during the inspection process. Each element is identified by one of seven rating types describing their condition. New Hampshire and Vermont allows for the construction and repair of properties without building permit requirements and building inspection oversight in many areas of both states. The inspection report is not a code enforcement document.

The six rating types include:

- ~ Satisfactory: Satisfactory notes the generally accepted working condition of the item identified in the report at the time of the inspection where observed.
- ~ BP: Best Practice: The use of the Best Practice notation is used to identify forms of construction and methods associated with good building and maintenance practices.
- ~ NM: Needs Maintenance: Items identified as Needs Maintenance are normally less serious and do not pose an immediate problem but will need to be corrected to ensure the life of the identified item.
- ~ PC: Professional Consultation: Conditions that are identified as Professional Consultation note a condition that will require further evaluation by a competent or licensed trade specialist trained in the specific area of expertise.
- ~ SI: Safety Improvement: Safety Improvement notes designate home/building construction observations that have improved the general safety of homes and buildings over time and will need to be addressed as a priority for repair/modification.
- ~ CN/SN/ON Customer Note/ Sellers Note/ Owners Note: Customer, Sellers and Owners notes will designate general information important for your awareness and knowledge.

For Your Information: Important Customer Note:

~Building code compliance is not a part of the inspection protocol. "Building code requirements generally apply to the construction of new buildings and alterations or additions to existing buildings, changes in the use of the building, and the demolition of buildings or portions of buildings at the ends of their useful lives. As such, building codes obtain their effect from the voluntary decisions of property owners to erect, alter, add to, or demolish a building in a jurisdiction where a building code applies, because these circumstances routinely require a permit. The plans are subject to review for compliance with current building codes as part of the permit application process. Generally, building codes are not otherwise retroactive except to correct an imminent hazard." Source: International Building Code

~Home inspections in NH and VT are not code inspections. As a home inspector in New Hampshire and Vermont, I am not performing a code compliance inspection. Building codes change frequently, vary by jurisdiction, and are enforced only by the Authority Having Jurisdiction (AHJ), such as the town building inspector or State Fire Marshal's Office. However, I do use building codes, industry standards, and best practices as reference points to help explain why a condition may be unsafe, outdated, or not functioning as intended at the time of the inspection.

~Building Permits; The requirement to obtain construction permits varies from town to town throughout New Hampshire and Vermont. Many towns do not require construction permits and owners and contractors are on their own in constructing projects for the property. The requirement of obtaining proof of past permits is not part of the inspection process due to the variability, changing requirements and the nature of permits in general in Vermont and New Hampshire. I strongly recommend that you ask the question and research the requirements with the town where you are purchasing or selling your property if renovations like basement finishing, additions, or other major modifications have been performed. If permits are required, proof of the permit and all subsequent inspections, sign-offs and the close of the permit should be supplied to you or kept on record.

~Water Body and Features: The presence of or proximity to water bodies—including but not limited to lakes, ponds, rivers, streams, or koi ponds—is outside the scope of this home inspection; These features may be located on the property or adjacent to it, and in some cases, may not be visible from the primary dwelling due to property size or vegetation; If present, the evaluation of their safety, structural integrity, depth, water quality, or maintenance requirements is not performed; It is advised that the buyer perform independent due diligence to identify all water features and consult with a qualified specialist for a full safety and risk assessment.

Client Information:

Property Information:

Summary

Section 1: Site Grounds & Grading

Inspection Information

Date Of Inspection: 5/16/2026

Weather: 58 Degrees and Sunny

Square Feet Inspected: 1,564

Primary Use Entrance Point Step/Stair To Home

CN.

~Please see Section 2: Deck Stairs note.

Other Entrance Point(s) Step/Stair To Home

SI.

~Missing Stair Landing Pad: Observation of the exterior stairs noted the absence of a firm, level landing pad at the base; It is recommended that a proper landing pad be installed by a qualified professional to provide a safe and stable transition.

~Exterior Stair Open Riser Safety: Observation of the exterior stairs identified an open-backed (open riser) design; It is advised that a qualified building professional perform a review to determine the best method to close these rear openings; Closing the risers is advisable to prevent accidental trips or falls and to meet modern building standards for stair safety.

~Stairway Handrail Configuration: Examination of the currently installed step rail system noted that it lacks a graspable profile; Modern guidelines advise that a graspable surface provides a more secure grip to aid in user stability; It is recommended that a qualified contractor be consulted to evaluate the installation of a graspable handrail.

Trees & Shrubs

PC.

~Ongoing General Tree Care: The home is surrounded by larger trees; The trees should be fully assessed by a tree professional to determine the health and structural integrity of the trees including the removal of any dead or declining trees or dead and declining branches that may fall from the living trees; It is especially important to remove tree branching overhanging roofs that may damage roofs or allow for the development of moist roof condition promoting the growth of moss and lichens on the roof surface; Tree health and integrity should be monitored especially after storm events to include heavy wind, heavy snow or ice.

~Maintain/Remove Vegetation: All vegetation within at least 2 feet of the home (6 feet is preferred) needs to be removed; Vegetation close to homes allows moist conditions to form along the home promoting decay and algae growth as well as harboring pest that may find their way into the home.

Hot Tub, Pool and Exterior Sauna Safety

CN/SI.

~Exterior Sauna Limitation: Observation of the property identified an exterior sauna; It is important to note that the evaluation of this feature—including its structural integrity and heating mechanics—is outside the scope of a standard home inspection; It is advised that a qualified sauna specialist review the system before use; Where applicable, this service should include testing the control units and verifying that all GFCI protection and safety emergency shut-offs function properly.

Section 2: Exterior & Structure

Building Information

CN.

~Circa 1970's: Buyer: Lead, Asbestos, and Decay History Information; Many homes built before 1978 with minimal reconstruction work like original windows, original trim, wood clap siding and other original wood surfaces, may have paint that contains lead (called lead-based paint); In addition, homes of this age up through 1985, may have used elevated asbestos containing products in the construction of the home including textured ceiling installation; Licensed professionals are available to test and document the presence or not of these materials if desired or if reconstruction projects are undertaken and existing home materials are disturbed; Age of Home: Homes of this age have been exposed to years of varying weather and environmental conditions, construction methods, and exposure to moisture that may cause damage and rot to wood along the outside sill areas and in dirt crawlspaces that are unseen and may be discovered during reconstruction projects; If renovation work is planned after the home is purchased, your best efforts will need to be made to hire a professional building contractor to complete a review and

estimate for repairs of the property before purchase.

Exterior Wall Covering

NM/PC.

Front Of Home.

~Loose Vinyl Siding and Pest Exposure: Observation of the exterior identified loose pieces of vinyl siding; It is advised that this section be properly secured to prevent wind damage and eliminate potential pest entry points; Fixing the siding promptly is important to protect the underlying wall sheathing from weather exposure and pest impacts.

Exterior Door(s) Condition

PC.

Front Of Home.

~Exterior French Door Operation: Observation of the exterior French door identified that the door is sticking and difficult to open and close; It is advised that a qualified door specialist or carpenter adjust the unit to ensure smooth operation; Correcting this issue is important to restore ease of use, maintain home security, and ensure a proper weather seal.

Exterior Foundation Observations

PC.

Rear Of Home.

~Foundation Crack Maintenance: 1/4 Inch Or Less: Observation of the foundation walls identified several cracks measuring 1/4 inch or less; While these fractures do not currently appear to be structurally significant, they can allow moisture or pests to enter the home over time; It is recommended that a qualified contractor be consulted to review and professionally seal these cracks; This maintenance step is important to prevent water incursion and to protect the long-term integrity of the foundation.

Propane Tank, Metering When Applicable, and Exterior Piping

CN/Sl.

~Propane tanks and their associated delivery systems are considered outside the scope of a standard home inspection; It is recommended that the propane delivery company be contacted prior to the transfer of ownership to confirm the tank's lease or ownership status and to perform a comprehensive safety evaluation; This professional review should verify the condition of the tank, all interior and exterior supply lines, shutoff valves, and regulators; It is essential for the provider to confirm that the regulators have proper venting protection and that the system is appropriately shielded from falling snow or ice; All safety checks and maintenance should be documented by a certified technician in accordance with manufacturer recommendations and state safety standards before taking ownership of the system.

Deck Stairs

PC/Sl.

Walk And Rear Stair.

~Deck Stair Handrail and Guard Requirement: Observation of the deck stairs identified that the assembly consists of four risers and exceeds 30 inches in height without a functional handrail or safety guards; For user stability and fall protection, modern safety standards require a graspable handrail and protective guards on both sides of the stairs when they reach this height; It is recommended that a qualified building contractor be consulted to install a graspable handrail and safety guards with openings no larger than 4 inches to meet current safety rules.

All Stairs.

~Open Stair Riser Safety: Assessment of the deck stairs identified "open risers," where the vertical space between steps is open; Modern safety standards require these gaps to be small enough so a 4-inch ball cannot pass through; It is recommended that a qualified building contractor be consulted to install riser enclosures to meet current safety requirements.

~Stairway Landing Pad: Evaluation of the staircase noted that the last step terminates onto a surface lacking a proper landing pad; It is recommended that a qualified building contractor be consulted to install a level, stable landing at the base of the stairs to ensure a uniform and safe transition when stepping off the final riser.

Deck

PC/Sl.

~Deck Ledger Flashing: Observation of the deck-to-house connection identified that the presence and condition of proper ledger flashing could not be verified; It is necessary that the installation of an approved, watertight flashing barrier be confirmed; It is advised that a qualified deck contractor perform a professional review to verify or install proper flashing to protect the house structure from hidden water damage and rot.

~Deck Surface Grating Options: Observation of the deck identified that adding a section of open steel or composite grating where the deck meets the home would be beneficial; Implementing this grating allows snow and water to pass through freely, rather than piling up against the structure; It is advised that a qualified deck contractor explore options for this addition to reduce seasonal moisture impacts along the home's siding and door openings.

~Notched Guardrail Posts: Observation of the deck noted that the guardrail posts have been notched at the point of attachment; It is advised that a qualified contractor reinforce or replace the posts to ensure the railing system is safe and secure.

Section 3: Roof and Chimney(s)

General Observations

CN.

~All components of the roof to include general covering condition, leaks, flashing, roof vents, skylights, and exterior roof structure, where applicable are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Gutters & Downspouts

BP.

~Gutter and Drainage Considerations: To aid in directing roof water runoff away from the home and foundation, the installation of a gutter system may be considered; Gutter type, size, and structural strength are critical factors in this geographic area due to heavy winter weather; Gutters, downspouts, and extensions must be engineered to withstand the weight and impact of snow and ice sliding from roof surfaces; Furthermore, the system must have the capacity to catch and carry large volumes of water resulting from steep roof pitches during heavy rain events; It is recommended that a professional gutter contractor be consulted to design a system that includes proper extensions to move water at least 6 to 10 feet away from the foundation.

Exterior Chimney Observations

PC.

~Concrete Block Chimney Evaluation: Observation of the concrete block chimney confirmed it is in generally good condition with chimney crown maintenance needed; It is recommended that a certified Chimney Sweep be consulted to perform a full interior cleaning; Additionally, the exterior crown will need to be repaired and the chimney cleaned and a waterproof sealant applied to protect the block; This professional maintenance is important to ensure the chimney remains safe and weather-tight.

Section 5: Basement / Crawlspace/ Frost Wall/ Slab/Lower Level

General Observations

CN.

~Where applicable, all components of the basement/crawlspace to include the floor, columns, moisture, stairs, insulation when visible, floor joist and sub-floor where visible, and receptacles is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Interior Or Exterior Crawlspace/Basement Access Point

PC.

~Crawlspace Access Modification: Observation of the crawlspace access identified that a floor joist blocks the opening and restricts entry; It is advised that a qualified building contractor reframe the opening to clear the obstruction; Modifying the frame is important to allow for easy access while keeping the surrounding floor properly supported

Moisture

CN.

~Crawlspace Humidity and Past Moisture Assessment: Observation of the crawl space environment measured a relative humidity level of 43% which currently falls within the standard target range of 45% to 50%; While no active moisture was identified during the inspection, it is recommended that a dehumidification system be maintained to manage seasonal fluctuations and improve general air quality; This proactive moisture management is essential to prevent the development of organic growth and to protect the home's structural framing; If more severe water penetration is observed during heavy rain or snow melts, it is advised that a professional basement waterproofing specialist be consulted to explore permanent solutions.

Ventilation

CN/PC.

~Crawlspace Humidity and Moisture Management: Observation of the sealed and insulated crawl space

confirmed that the area has been encapsulated to create a conditioned environment and will need to be dehumidified; To ensure the space remains dry and to prevent the buildup of stagnant air or organic growth, it is recommended that a dedicated dehumidification system be installed and maintained; Maintaining relative humidity levels between 45% and 55% is essential to protect the floor framing and improve the overall air quality of the home; This active moisture control is critical to ensure the encapsulated space remains clean and dry.

Foundation

CN.

~Crawlspace Foam Insulation Observation Limitation: Observation of the crawlspace perimeter identified that the foundation walls have been insulated with spray foam; As a result of this application, the wall surface condition was not inspected and the structural integrity behind the insulation remains unknown; While the wall structure appears to be intact at the time of the inspection, it is advised that the area be monitored for any future signs of moisture or settlement over time.

Foam Type Insulation Use

PC/AI.

~Unprotected Crawlspace Spray Foam Insulation: The spray foam insulation is currently exposed and may lack a required thermal or ignition barrier; This creates a potential fire hazard as many foam products are combustible; A licensed insulation contractor should be consulted to determine if the specific product requires a fire-retardant intumescent coating or other protective covering to meet manufacturer's recommendations and current building standards.

Observed Structure: Rim Joist, Sill Plate, Floor Joists, Sub-Floor, Support Beams, and Columns

CN.

~Insulated Basement Inspection Limitations: This observation indicates that because of the installed insulation, the main structural beams, floor joists, sub-flooring, and foundation sills were not fully visible for inspection; Consequently, the structural condition of these concealed components is unknown; The limited areas that remained exposed and accessible were found to be in satisfactory condition at the time of the inspection.

Section 6: Plumbing

Wellhead Location and Condition

NM.

~Drilled Well Head Maintenance: Observation of the drilled well head identified a need for general maintenance around the perimeter; It is advised that vegetation and debris be cleared, the soil graded to slope away from the casing, and a gravel base installed; Performing this landscaping upkeep is important to ensure surface water drains away from the well head.

Water Service

PC/BP.

~Well: Catch-pan: If not completed, all dirt and debris and any nonessential items should be removed from around the homes water system; Condensation generated from cold water pipes and humid room conditions, common in this area, drip onto floors and drop ceilings if installed; Adding a drip catch pan below the well pump pressure gauge and piping area at the base of the tank will help lessen this impact.

~Crawlspace Water Shutoff Accessibility: Observation of the main water shutoff confirmed that a single shutoff valve was not located in close proximity the pressure tank; It is recommended that a shutoff be installed in a more accessible area or that a smart home electronic solenoid and leak detection system be installed for remote operation.

Water Treatment

CN.

~Canister Filter: The filter cartridge will need to be changed per manufacturers recommended intervals; If a red or sometimes blue button is present on the top of the filter housing, the button will need to be pressed after closing the water supply to the filter to release pressure.

Radon Air Reduction System

CN.

~The home is equipped with a Radon air reduction system; The fan is running; It is recommended the use of the continuous Radon monitoring unit be continued and lab testing be performed to ensure the system is reducing Radon to safe levels and operating as designed.

Sink Aerators and Shower Head Ports

BP.

~Clean Sink Aerators and Shower Head Water Ports: To improve general water pressure, cleaning sink

aerators of debris and scale and cleaning shower heads of scale will improve water pressure.

Water Heater

PC.

~Over time, mineral sediment from the water supply settles at the bottom of the tank; This buildup forces the heating elements to work harder, which reduces efficiency and can cause premature failure; for optimal performance and to prolong the life of the water heater, it is recommended that the tank be flushed annually to remove accumulated sediment; This maintenance task should be performed by a qualified licensed plumbing contractor.

Waste

PC.

~Private Septic System Evaluation: This observation indicates that at the time of the inspection, the interior portions of the septic system are functioning with adequate drain flow and no unusual septic odors within the home; However, a comprehensive evaluation of the exterior components is outside the scope of this inspection; A licensed septic professional must be consulted to verify the integrity and functionality of the septic tank, the distribution box, and the leach field; This assessment should include an inspection of the piping and a review of the tank's current condition and pumping history before taking possession of the home.

Appliance Drain Hook-Up

PC.

~The dishwasher drain line lacks required backflow prevention, such as an approved air gap device or a secured high drain loop under the kitchen sink countertop; This condition can allow contaminated water to back up into the unit; Correction by a qualified plumber is recommended to ensure the dishwasher drains properly.

Exterior Water Faucets and Shower If Present

CN.

~Seasonal Use: After the end of the summer season it is important to remove all hoses and shut off outside water faucets if applicable; If installed, all outdoor shower systems need to be winterized.

Section 7: Propane Fired Hot Water Boiler(s)

Propane Heating System Service

PC.

~Propane Boiler Service and Maintenance: Observation of the propane boiler noted that the last service date could not be determined; To establish a baseline operating condition before taking possession, it is recommended that a licensed heating contractor perform a full service and cleaning; This should include an inspection of the shroud, sensors, piping, and circulation pumps for proper operation, corrosion, or scale; Annual servicing and the use of available service plans is important for propane-fired boilers to ensure all mechanical and exhaust components remain in safe and satisfactory condition.

Unit Exhaust Venting

PC/SI.

~Boiler Exhaust Vent Service: Observation of the heating system identified that the exhaust vent must be fully inspected during the next boiler service; It is necessary that a qualified HVAC technician verify the vent meets all current manufacturer specifications for safe operation; Ensuring the integrity of the exhaust path is important to confirm proper combustion clearance and to prevent hazardous gases from entering the home.

Condensate Neutralization Unit

PC.

~Test and Recharge At Service: The condensate produced by the boiler is acidic and has the potential to harm the environment and the sewer/septic system; The water discharge should be tested annually and the capsule recharged per manufacturers recommended procedures on a yearly basis when the boiler is serviced.

Heat Distribution

CN.

~Radiant Floor Heating Weather Inspection Limitation: Observation of the heating system identified that the radiant floors could not be fully tested due to warmer weather conditions and the longer lead time required for these systems to fully heat up; While the circulation pumps and utility room piping indicate the system is operational, full heating performance cannot be confirmed until it is run in colder weather; It is advised that a qualified HVAC technician perform a baseline service before the winter season to ensure all zones heat properly.

Section 7: Wood Stove

Wood Stove Service

PC/SI.

~2026/27 Heating Season: If not completed this year, all woodstoves in the home will require cleaning, inspecting, and any safety deficiencies corrected before use by a professional chimney service/Chimney Sweep and ongoing on a yearly basis to ensure the stove and chimney are safe and function properly.

~Wood Stove Hearth Clearance: Evaluation of the heating area revealed that the current hearth does not provide the required 18 inches of clearance from combustible floor surfaces; wood-burning appliances require this specific buffer to protect against heat radiation and stray embers; the hearth will require the installation of additional non-combustible floor protection to meet safety standards; all modifications should be completed in accordance with manufacturer recommendations and local fire codes to ensure the safety of the residence.

Section 7: Split System Cooling/ Split Heat Pump

Heat Pump Or Split Air Conditioning

PC.

~Heat Pump System Comprehensive Service: Observation of the property identified an installed heat pump system; It is advised that a qualified HVAC professional perform a review of both the interior air handling unit and the exterior condenser unit; This service should include cleaning or replacing all filters, clearing the exterior coils of debris, and verifying proper system operation; Regular professional maintenance is important for a buyer to maintain indoor air quality, maximize energy efficiency, and protect the longevity of the heating and cooling system.

Section 8: Interior

General Observations

CN.

~Where applicable, all components of the interior to include floor structure, ceilings, interior doors, moisture damage, windows, and stairs are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Ceilings

NM.

~Settlement cracks were observed in the home; The areas will need to be properly taped, plastered and painted; While repaired, settlement cracks may reappear over time as a result of home construction materials contracting and expanding.

Interior Floor Structure

CN.

First Floor.

~Laminate Floor Gaps: Observation of the flooring identified gaps between some of the planks; It is advised that a qualified flooring contractor review the installation to determine the cause and perform any necessary repairs; Correcting these gaps is important to ensure the floor remains secure and easy to clean.

Energy Savings Tip: Air Sealing

BP.

~Source: Energy.gov: "Reducing the amount of air that leaks in and out of your home is a cost-effective way to cut heating and cooling costs, improve durability, increase comfort, and create a healthier indoor environment; Caulking and weather-stripping are two simple and effective air-sealing techniques that offer quick returns on investment, often one year or less; Caulk is generally used for cracks and openings between stationary house components such as around door and window frames, and weather-stripping is used to seal components that move, such as doors and operable windows;" Properly sealing wall light switches and electrical receptacles is another area for improved air sealing.

Full Home Energy Audit

BP.

Please Contact Your Electric Utility Provider.

~A home energy audit, also known as a home energy assessment, can help you understand the whole picture of your home's energy use; An audit can help you determine how much energy your home uses, where your home is losing energy, and which problem areas and fixes you should prioritize to make your home more efficient and comfortable; A home energy audit should be your first step before making

energy-saving home improvements, as well as before adding a renewable energy system to your home.

Laundry Room

SI.

~Important Fire Protection Maintenance: At Move In And Ongoing: Washer and Dryer Behind and Under Unit Clean-up: An important maintenance task for fire prevention, the areas behind the washer and dryer cleaned and vacuumed of all lint, dust and objects that find their way behind the units over time; The dryer vent and all connecting venting hoses should be cleaned and if plastic vent pipes discovered replaced with metal and the termination point outside the home confirmed; The clothing washing machine plumbing and drain connections should be reviewed for proper installation and shut off ability; The clothing washing machine is not tested as part of the inspection due to the possibility of leaving water in the unit; Verification of the units operability should be made with the seller if the unit is part of the sale.

Heat Recovery Ventilation (ERV/HRV)

PC.

~Energy Recovery Ventilator (ERV) Maintenance: Observation of the home identified an Energy Recovery Ventilator (ERV) system; These units improve air quality by exchanging indoor and outdoor air while filtering impurities; It is recommended that the unit be inspected and maintained according to the manufacturer's instructions, including washing filters, vacuuming the interior, and cleaning exterior vents to ensure optimal performance.

Section 11: Attic

General Conditions

CN.

~Where applicable, observed and accessible: All components of the Attic to include the stairs if applicable, roof framing, roof sheathing, attic venting, vent pipes and flashing, moisture, wire conditions and properly installed insulation are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Attic Access: Blocked, Observation From The Ladder Position: Pest, Small Opening, Stairwell Opening or Blown Insulation or Vermiculite, Sealed Peak

CN.

~Blown In Insulation: Observation From The Ladder Position: Due to the presence of blown in insulation and not to disturb the thermal envelope provided by the insulation or risk falling through the ceiling as a result of lack of joist visibility, the attic space could not be fully accessed and the inspection was performed from the ladder position; Observations from this position and a strong spotlight shown into the attic area indicate satisfactory attic conditions were observed from this position.

Insulation: Attic/Knee Wall

CN.

~Attic Insulation Present: Observation of the attic space confirmed the presence of Blown In Cellulose insulation with an estimated R-value of 42 (confirmation of the actual R-value will need to be made at the energy audit); This current level is below the newer recommendation of R-49 for this region; It is recommended that a professional insulation contractor be consulted to achieve the desired R-value; It is suggested that you contact your local electric utility provider to discuss available programs or rebates to determine the best next steps for improving the home's energy efficiency.

Section 12: Electrical

Service Entrance

SI.

~Electrical Service Tree Trimming: Observation of the exterior electrical service identified that tree limbs are growing close to or are in direct contact with the overhead service lines; This contact can cause power interruptions or damage to the home's electrical system during limb failure events or windy conditions; It is recommended that the local utility provider be contacted to safely trim the branches away from the wires; Do not perform this work on your own as service lines can cause serious injuries or death.

Generator

PC.

~Standby Generator: Auto Transfer Switch; Active Control Status: The home is equipped with a propane fired exterior power generation unit and auto transfer switch gear at the electrical panel in the basement; The unit is inspected for exterior defects, vegetation blocking air intake ports, and last service date indications; The unit is not live tested as part of the home inspection scope; A licensed electrical contractor or service company servicing the generator should be consulted about the current service

status and verification of the units operation, all connecting service wires, oil condition, the electrical circuits and systems supported by the generator and all transfer switching off and back onto the utility service.

~Backup Generator Service Plan: Last Service Date 4/2026; It is recommended that a comprehensive service plan including emergency repair coverage be established; This proactive approach ensures the unit remains reliable and fully operational during power outages.

~Clear Vegetation: All vegetation around the unit needs to be cleared to allow for full airflow into the unit when in operation.

Main Panel(s)

SI.

~New construction requirements are in place, and the electrical panel will need to be reviewed by a Licensed Electrician to perform the identified recommendations or other repairs identified by them in their assessment; In some cases, a need to upgrade the panel will be made based on the ability of the panel to accommodate the identified recommendations.

~Surge Protection for Sensitive Equipment: Evaluation of the electrical system revealed that a Surge Protective Device (SPD) is currently missing; Modern homes contain sensitive electronics and appliances that are vulnerable to high-voltage spikes; It is recommended that a whole-house surge protector be installed within the panel to mitigate the risk of damage from external power surges.

~Circuit Labeling and Verification: It is recommended that the labeling be professionally updated to accurately reflect the current use of all areas in the home; Proper labeling is essential for safety during maintenance and in the event of an emergency.

General Observation(s): Outlets, Fixtures, and Switches

SI.

~Electrician Walkthrough and Repair: Home, Garage, and Outbuildings If Present: Commonly found in most properties and sometimes as a result of limited observation due to items and furniture in the home, a room by room and area review will need to be completed; Any missing/ damaged light fixtures, light switch and plug covers, improperly terminated or loose wires, or missing junction box covers installed and not identified during the inspection will need to be repaired.

~Where Applicable: All GFCI to include exterior outlets, AFCI outlets and circuits will need to be tested at move in and ongoing per manufactures recommend intervals to ensure the outlets and circuits trip and reset properly.

~Licensed Electrician: All repairs will need to be performed by a licensed electrician.

Exterior: Outlets, Fixtures, & Switches

SI.

~Exterior EV Car Charger Safety: Observation of the property identified an exterior electric vehicle (EV) car charger; It is necessary that the 240-volt (commonly referred to as 220V) electrical circuit feeding the charger be confirmed as GFCI protected; Ensuring ground-fault protection is important for an outdoor charging station to prevent shock hazards and to meet safe building standards for damp or wet environments.

Plumbing: Outlets, Fixtures, & Switches

SI.

~Well Pump Electrical Wiring Protection: Observation of the well pump identified that the colored electrical supply wires are currently exposed and unprotected; These wires can be damaged, which could cause the pump to fail; It is recommended that a licensed electrician install these wires inside a protective conduit; This fix is recommended to keep the well pump safe and working reliably.

~Well Pump Electrical Grounding Deficiency: Observation of the well system identified an older two-wire power supply that lacks a safety grounding wire; It is advised that a licensed electrician review the system to upgrade the circuit to include a proper ground path; Correcting this missing ground is important to eliminate shock hazards and ensure the circuit breaker trips safely during an electrical fault.

Laundry: Outlets, Fixtures, & Switches

SI.

~Laundry Area GFCI Protection: Dryer: Observation of the laundry area identified that the dryer circuit lacks GFCI protection; It is recommended that a licensed electrician be consulted to install GFCI protection for the dryer to meet current safety standards.

Smoke and CO Detection

SI.

~Smoke and Carbon Monoxide Detection Compliance: Evaluation of the home's detection systems was limited to a visual confirmation of presence as units are not removed or tested during this inspection; It is

recommended that a qualified professional be consulted prior to taking possession to verify the location, age, sensor type—specifically the use of ionization and photoelectric technology—and whether the units are hard-wired or battery-operated; The professional should confirm if CO detection is present or missing in current units and ensure the system meets State Fire Marshal standards; Any units exceeding ten years of age should be replaced and a maintenance schedule established for weekly testing and regular battery replacement.

Current Status.

~Smoke: Present

~CO: Confirmation Required When The Units Are Removed And Inspected.

~NH: Install Per The Rules Found At New Hampshire Division of Fire Safety Site:

<https://www.concordnh.gov/DocumentCenter/View/16411/2020-05-Smoke-Detector-devices-in-Dwellings>

and <https://mm.nh.gov/files/uploads/fmo/remote-docs/2020-06-carbon-monoxide-devices.pdf>

~Additional National Fire Protection Association Smoke Detection Information Link:

<https://www.nfpa.org/education-and-research/building-fire-safety/smoke-alarms/installing-and-maintaining-smoke-alarms>

~Additional National Fire Protection Association CO Detection Information Link:

<https://www.nfpa.org/education-and-research/building-fire-safety/carbon-monoxide>

Section 1: Site Grounds & Grading

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. When decks and porches are built close to the ground where no viewing or access is possible, we cannot make accurate opinions. These areas as well as others that are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in this report. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Inspection Information

Date: 5/16/2026

Time: Morning

Weather Conditions: Sunny

Present at time of inspection: Realtor, Client

Comments:

Date Of Inspection: 5/16/2026

Weather: 58 Degrees and Sunny

Square Feet Inspected: 1,564

Driveway

Condition: Satisfactory

Primary Use Entrance Point Step/Stair To Home

Condition: Customer Note/ Sellers Note/ Owners Note

Location: Front Side Of Home

Comments:

CN.

~Please see Section 2: Deck Stairs note.

Other Entrance Point(s) Step/Stair To Home

Condition: Safety Improvement

Location: Side Of Home

Step Type(s): Wood

Landing Type(s): Pressure Treated Lumber

Railing: Yes

Comments:

SI.

~Missing Stair Landing Pad: Observation of the exterior stairs noted the absence of a firm, level landing pad at the base; It is recommended that a proper landing pad be installed by a qualified professional to provide a safe and stable transition.

~Exterior Stair Open Riser Safety: Observation of the exterior stairs identified an open-backed (open riser) design; It is advised that a qualified building professional perform a review to determine the best method to

close these rear openings; Closing the risers is advisable to prevent accidental trips or falls and to meet modern building standards for stair safety.

~Stairway Handrail Configuration: Examination of the currently installed step rail system noted that it lacks a graspable profile; Modern guidelines advise that a graspable surface provides a more secure grip to aid in user stability; It is recommended that a qualified contractor be consulted to evaluate the installation of a graspable handrail.



Sidewalks / Walkways

Condition: Satisfactory

Type: Gravel

General Grading / Drainage

Condition: Satisfactory

Grading at House Wall

Condition: Satisfactory

Trees & Shrubs

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Ongoing General Tree Care: The home is surrounded by larger trees; The trees should be fully assessed by a tree professional to determine the health and structural integrity of the trees including the removal of any dead or declining trees or dead and declining branches that may fall from the living trees; It is especially important to remove tree branching overhanging roofs that may damage roofs or allow for the development of moist roof condition promoting the growth of moss and lichens on the roof surface; Tree health and integrity should be monitored especially after storm events to include heavy wind, heavy snow or ice.

~Maintain/Remove Vegetation: All vegetation within at least 2 feet of the home (6 feet is preferred) needs to be removed; Vegetation close to homes allows moist conditions to form along the home promoting decay and algae growth as well as harboring pest that may find their way into the home.

Hot Tub, Pool and Exterior Sauna Safety

Condition: Customer Note/ Sellers Note/ Owners Note, Safety Improvement

Comments:

CN/SI.

~Exterior Sauna Limitation: Observation of the property identified an exterior sauna; It is important to note that the evaluation of this feature—including its structural integrity and heating mechanics—is outside the scope of a standard home inspection; It is advised that a qualified sauna specialist review the system before use; Where applicable, this service should include testing the control units and verifying that all GFCI protection and safety emergency shut-offs function properly.

Section 2: Exterior & Structure

Our inspection of the Exterior grounds includes the general condition of sidewalks, patios, driveways, and retaining walls adjacent to the structure. The inspection of the exterior of the building includes the cladding, trim, eaves, fascias, decks, porches, railings, doors, windows and flashings. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many foundations, and most do not represent a structural problem. If major cracks are present along with rotation, we routinely recommend further evaluation be made by a qualified professional foundation expert. All concrete slabs experience some degree of cracking due to shrinkage in the drying process or minor settlement. All items listed are inspected for their proper function, excessive wear, and general state of repair. Where snow, deck carpeting, stacked firewood, excessive vegetation, soil and other coverings are installed over decking and patio surfaces, the materials or their nature of construction and condition of the underneath these coverings cannot be determined. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Building Information

Year Constructed: 1978

Type:Single Family

Comments:

CN.

~Circa 1970's: Buyer: Lead, Asbestos, and Decay History Information; Many homes built before 1978 with minimal reconstruction work like original windows, original trim, wood clap siding and other original wood surfaces, may have paint that contains lead (called lead-based paint); In addition, homes of this age up through 1985, may have used elevated asbestos containing products in the construction of the home including textured ceiling installation; Licensed professionals are available to test and document the presence or not of these materials if desired or if reconstruction projects are undertaken and existing home materials are disturbed; Age of Home: Homes of this age have been exposed to years of varying weather and environmental conditions, construction methods, and exposure to moisture that may cause damage and rot to wood along the outside sill areas and in dirt crawlspaces that are unseen and may be discovered during reconstruction projects; If renovation work is planned after the home is purchased, your best efforts will need to be made to hire a professional building contractor to complete a review and estimate for repairs of the property before purchase.

Exterior Wall Structure

Condition: Satisfactory

Type:Wood Frame

Exterior Wall Covering

Condition: Needs Maintenance, Professional Consultation/ Further Evaluation

Type:Vinyl

Inspection Method Used:Visual Inspection and Area Probe

Comments:

NM/PC.

Front Of Home.

~Loose Vinyl Siding and Pest Exposure: Observation of the exterior identified loose pieces of vinyl siding; It is advised that this section be properly secured to prevent wind damage and eliminate potential pest entry points; Fixing the siding promptly is important to protect the underlying wall sheathing from weather exposure and pest impacts.



Eaves, Trim, Soffits, Fascia Boards and Exposed Roof Rafter Ends

Condition: Satisfactory

Trim

Condition: Satisfactory

Exterior Door(s) Condition

Condition: Professional Consultation/ Further Evaluation

Type:Combination

Comments:

PC.

Front Of Home.

~Exterior French Door Operation: Observation of the exterior French door identified that the door is sticking and difficult to open and close; It is advised that a qualified door specialist or carpenter adjust the unit to ensure smooth operation; Correcting this issue is important to restore ease of use, maintain home security, and ensure a proper weather seal.

Exterior Foundation Observations

Condition: Needs Maintenance

Type:Block

Comments:

PC.

Rear Of Home.

~Foundation Crack Maintenance: 1/4 Inch Or Less: Observation of the foundation walls identified several cracks measuring 1/4 inch or less; While these fractures do not currently appear to be structurally significant, they can allow moisture or pests to enter the home over time; It is recommended that a qualified contractor be consulted to review and professionally seal these cracks; This maintenance step is important to prevent water incursion and to protect the long-term integrity of the foundation.



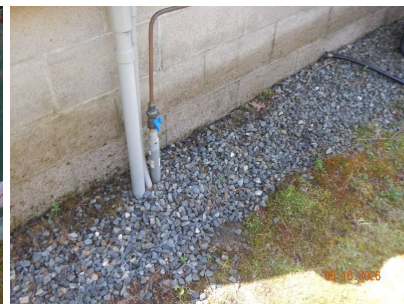
Propane Tank, Metering When Applicable, and Exterior Piping

Condition: Customer Note/ Sellers Note/ Owners Note, Safety Improvement

Comments:

CN/SI.

~Propane tanks and their associated delivery systems are considered outside the scope of a standard home inspection; It is recommended that the propane delivery company be contacted prior to the transfer of ownership to confirm the tank's lease or ownership status and to perform a comprehensive safety evaluation; This professional review should verify the condition of the tank, all interior and exterior supply lines, shutoff valves, and regulators; It is essential for the provider to confirm that the regulators have proper venting protection and that the system is appropriately shielded from falling snow or ice; All safety checks and maintenance should be documented by a certified technician in accordance with manufacturer recommendations and state safety standards before taking ownership of the system.



Deck Stairs

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Comments:

PC/SI.

Walk And Rear Stair.

~Deck Stair Handrail and Guard Requirement: Observation of the deck stairs identified that the assembly consists of four risers and exceeds 30 inches in height without a functional handrail or safety guards; For user stability and fall protection, modern safety standards require a graspable handrail and protective guards on both sides of the stairs when they reach this height; It is recommended that a qualified building contractor be consulted to install a graspable handrail and safety guards with openings no larger than 4

inches to meet current safety rules.

All Stairs.

~Open Stair Riser Safety: Assessment of the deck stairs identified "open risers," where the vertical space between steps is open; Modern safety standards require these gaps to be small enough so a 4-inch ball cannot pass through; It is recommended that a qualified building contractor be consulted to install riser enclosures to meet current safety requirements.

~Stairway Landing Pad: Evaluation of the staircase noted that the last step terminates onto a surface lacking a proper landing pad; It is recommended that a qualified building contractor be consulted to install a level, stable landing at the base of the stairs to ensure a uniform and safe transition when stepping off the final riser.



Deck

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Type: Wood

Railing: Yes

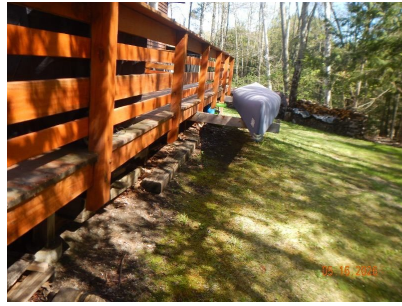
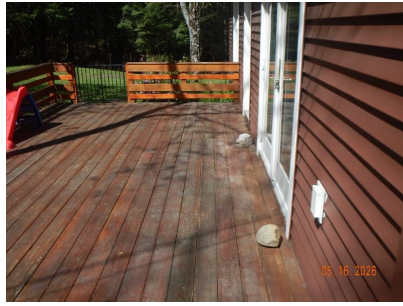
Comments:

PC/SI.

~Deck Ledger Flashing: Observation of the deck-to-house connection identified that the presence and condition of proper ledger flashing could not be verified; It is necessary that the installation of an approved, watertight flashing barrier be confirmed; It is advised that a qualified deck contractor perform a professional review to verify or install proper flashing to protect the house structure from hidden water damage and rot.

~Deck Surface Grating Options: Observation of the deck identified that adding a section of open steel or composite grating where the deck meets the home would be beneficial; Implementing this grating allows snow and water to pass through freely, rather than piling up against the structure; It is advised that a qualified deck contractor explore options for this addition to reduce seasonal moisture impacts along the home's siding and door openings.

~Notched Guardrail Posts: Observation of the deck noted that the guardrail posts have been notched at the point of attachment; It is advised that a qualified contractor reinforce or replace the posts to ensure the railing system is safe and secure.



Section 3: Roof and Chimney(s)

The inspection of the roof system includes a visual examination of the surface materials, connections, penetrations and roof drainage systems. We examine the roofing material for damage and deterioration. The number of roof layers determination is determined by the exposed outside shingle edge and may be incorrect. Additional layers may be discovered by the roofing contractor when on the roof surface or at replacement. We examine the roof system for possible leaks, damage and conditions. We may offer opinions concerning repair and/or replacement if warranted. Opinions stated herein concerning the roofing material are based on the general condition of the roof system as evidenced by our visual inspection. These do not constitute a warranty that the roof is or will remain, free of leaks. All roofing systems require annual maintenance. Failure to perform routine maintenance will usually result in leaks and accelerated deterioration of the roof covering and flashings. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection, and we cannot confirm this condition. We suggest that an annual inspection, of the Attic area, if applicable, be performed where accessible to identify if any leaks are developing or evident. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~All components of the roof to include general covering condition, leaks, flashing, roof vents, skylights, and exterior roof structure, where applicable are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Roof Style

Type:Gable

Exterior Roof Structure

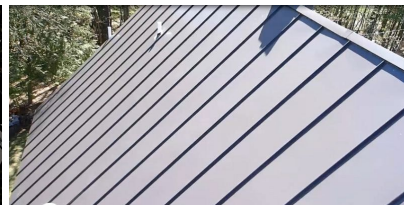
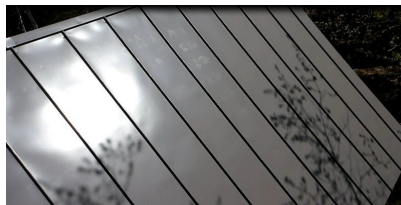
Condition: Satisfactory

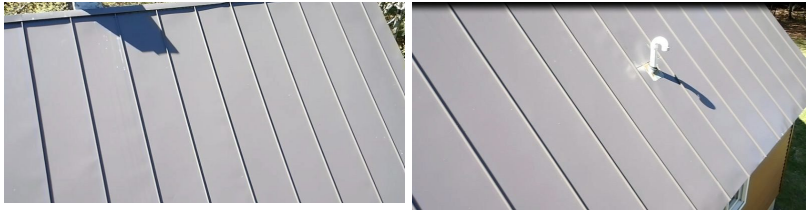
Exterior Roof Structure Observation :No Noted Observations Out Of Normal Exterior Roof Structure Conditions

Exterior Roof Covering Condition

Condition: Satisfactory

Metal Type:Standing Seam





Roof Side Wall and Valley Flashing

Condition: Satisfactory

Roof Leak Evidence

Condition: Satisfactory

Roof Leak(s) Observed:None Observed

Viewed From:Ground, Interior Attic Where Observed, Interior Attic Knee Walls Where Observed, Aerial Sky Stick Camera , Interior Home

Vent Stacks/Attic Vent Covers

Condition: Satisfactory

Gutters & Downspouts

Condition: Customer Note/ Sellers Note/ Owners Note

Type:Not Installed

Comments:

BP.

~Gutter and Drainage Considerations: To aid in directing roof water runoff away from the home and foundation, the installation of a gutter system may be considered; Gutter type, size, and structural strength are critical factors in this geographic area due to heavy winter weather; Gutters, downspouts, and extensions must be engineered to withstand the weight and impact of snow and ice sliding from roof surfaces; Furthermore, the system must have the capacity to catch and carry large volumes of water resulting from steep roof pitches during heavy rain events; It is recommended that a professional gutter contractor be consulted to design a system that includes proper extensions to move water at least 6 to 10 feet away from the foundation.

Exterior Chimney Observations

Condition: Professional Consultation/ Further Evaluation

Type:Block

Comments:

PC.

~Concrete Block Chimney Evaluation: Observation of the concrete block chimney confirmed it is in generally good condition with chimney crown maintenance needed; It is recommended that a certified Chimney Sweep be consulted to perform a full interior cleaning; Additionally, the exterior crown will need to

be repaired and the chimney cleaned and a waterproof sealant applied to protect the block; This professional maintenance is important to ensure the chimney remains safe and weather-tight.



Section 4: Storage Shed/Shop/Outbuilding/Barn

General Observations

Type: Outbuilding

Condition: Satisfactory



Section 5: Basement / Crawlspace/ Frost Wall/ Slab/Lower Level

Many of the building's structural elements and portions of its mechanical systems are visible inside the Basement and Crawlspace if present. These include the foundation, portions of the structural framing, distribution systems for electricity, plumbing, and heating. Each accessible and visible component and system was examined for proper function, excessive wear or abnormal deterioration and general state of repair. It is not unusual to find occasional moisture and dampness in the Basement and Crawl Space areas, and we advise annual inspections of these areas. Significant or frequent water accumulation can affect the structure's foundation and support system and would indicate the need for further evaluation by a professional drainage contractor or basement water specialist. We advise you to monitor your Basement and Crawlspace during the rainy and snow melt seasons.

Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Basement Description

Condition: Customer Note/ Sellers Note/ Owners Note

Type:Crawl space

Access:Interior opening

Comments:

CN.

~Where applicable, all components of the basement/crawlspace to include the floor, columns, moisture, stairs, insulation when visible, floor joist and sub-floor where visible, and receptacles is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

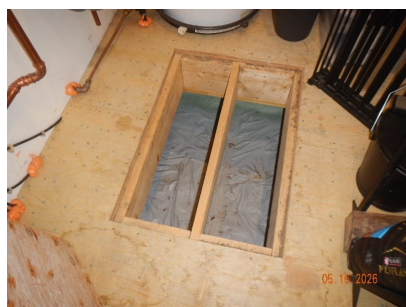
Interior Or Exterior Crawlspace/Basement Access Point

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Crawlspace Access Modification: Observation of the crawlspace access identified that a floor joist blocks the opening and restricts entry; It is advised that a qualified building contractor reframe the opening to clear the obstruction; Modifying the frame is important to allow for easy access while keeping the surrounding floor properly supported



Moisture

Condition: Customer Note/ Sellers Note/ Owners Note

Moisture Conditions Observed:No Moisture

Comments:

CN.

~Crawlspace Humidity and Past Moisture Assessment: Observation of the crawl space environment measured a relative humidity level of 43% which currently falls within the standard target range of 45% to 50%; While no active moisture was identified during the inspection, it is recommended that a dehumidification system be maintained to manage seasonal fluctuations and improve general air quality; This proactive moisture management is essential to prevent the development of organic growth and to protect the home's structural framing; If more severe water penetration is observed during heavy rain or snow melts, it is advised that a professional basement waterproofing specialist be consulted to explore permanent solutions.

Ventilation

Comments:

CN/PC.

~Crawlspace Humidity and Moisture Management: Observation of the sealed and insulated crawl space confirmed that the area has been encapsulated to create a conditioned environment and will need to be dehumidified; To ensure the space remains dry and to prevent the buildup of stagnant air or organic growth, it is recommended that a dedicated dehumidification system be installed and maintained; Maintaining relative humidity levels between 45% and 55% is essential to protect the floor framing and improve the overall air quality of the home; This active moisture control is critical to ensure the encapsulated space remains clean and dry.

Basement/Crawlspace Floor Structure

Condition: Satisfactory

Covering Type (s):Vapor Barrier

Foundation

Condition: Customer Note/ Sellers Note/ Owners Note

Type:Not visible

Comments:

CN.

~Crawlspace Foam Insulation Observation Limitation: Observation of the crawlspace perimeter identified that the foundation walls have been insulated with spray foam; As a result of this application, the wall surface condition was not inspected and the structural integrity behind the insulation remains unknown; While the wall structure appears to be intact at the time of the inspection, it is advised that the area be monitored for any future signs of moisture or settlement over time.

Insulation

Condition: Satisfactory

Presence :Crawlspace Walls , Top Of Crawlspace Foundation



Foam Type Insulation Use

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Comments:

PC/AI.

~Unprotected Crawlspace Spray Foam Insulation: The spray foam insulation is currently exposed and may lack a required thermal or ignition barrier; This creates a potential fire hazard as many foam products are combustible; A licensed insulation contractor should be consulted to determine if the specific product requires a fire-retardant intumescent coating or other protective covering to meet manufacturer's recommendations and current building standards.

Observed Structure: Rim Joist, Sill Plate, Floor Joists, Sub-Floor, Support Beams, and Columns

Condition: Customer Note/ Sellers Note/ Owners Note

Type:Conventional

Visibility:Limited Visibility As A Result Of Insulation Along The Top Of The Foundation.

Comments:

CN.

~Insulated Basement Inspection Limitations: This observation indicates that because of the installed insulation, the main structural beams, floor joists, sub-flooring, and foundation sills were not fully visible for inspection; Consequently, the structural condition of these concealed components is unknown; The limited areas that remained exposed and accessible were found to be in satisfactory condition at the time of the inspection.



Section 6: Plumbing

Our Inspection of the plumbing system includes a visual examination of the exposed portions of the water supply, drain waste, vent, faucets, fixtures, valves, drains, exposed pipes, and fittings. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint connection, especially in walls, floors, and ceiling voids. A septic/sewer lateral test is necessary to determine the condition of the underground septic/sewer lines. This type of test is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, wells, well pumps, or on site and/or private water storage supply systems, off site community water supply systems, or private (septic) waste disposal systems unless specifically noted. Qualified specialist are available to perform these systems. Our inspection of the water heater includes a visual examination of the accessible portions of the tank, gas, electrical and/or water connections, venting and safety valves. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Wellhead Location and Condition

Location :Side Of Home

Condition: Needs Maintenance

Comments:

NM.

~Drilled Well Head Maintenance: Observation of the drilled well head identified a need for general maintenance around the perimeter; It is advised that vegetation and debris be cleared, the soil graded to slope away from the casing, and a gravel base installed; Performing this landscaping upkeep is important to ensure surface water drains away from the well head.



Water Entrance Material Type

Condition: Satisfactory

Type:Plastic

Location: Crawl Space

Water Service

Condition: Best Practice, Professional Consultation/ Further Evaluation

Type:Private

Comments:

PC/BP.

~Well: Catch-pan: If not completed, all dirt and debris and any nonessential items should be removed from around the homes water system; Condensation generated from cold water pipes and humid room conditions, common in this area, drip onto floors and drop ceilings if installed; Adding a drip catch pan below the well pump pressure gauge and piping area at the base of the tank will help lessen this impact.

~Crawlspace Water Shutoff Accessibility: Observation of the main water shutoff confirmed that a single shutoff valve was not located in close proximity the pressure tank; It is recommended that a shutoff be installed in a more accessible area or that a smart home electronic solenoid and leak detection system be installed for remote operation.



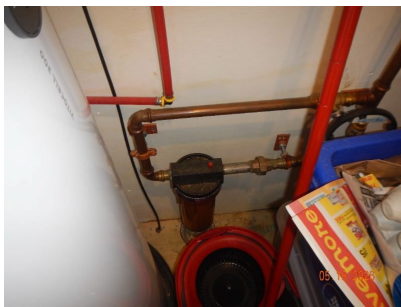
Water Treatment

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Canister Filter: The filter cartridge will need to be changed per manufacturers recommended intervals; If a red or sometimes blue button is present on the top of the filter housing, the button will need to be pressed after closing the water supply to the filter to release pressure.



Radon Air Reduction System

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~The home is equipped with a Radon air reduction system; The fan is running; It is recommended the use

of the continuous Radon monitoring unit be continued and lab testing be performed to ensure the system is reducing Radon to safe levels and operating as designed.



Sink Aerators and Shower Head Ports

Condition: Best Practice

Comments:

BP.

~Clean Sink Aerators and Shower Head Water Ports: To improve general water pressure, cleaning sink aerators of debris and scale and cleaning shower heads of scale will improve water pressure.



Water Heater

Condition: Professional Consultation/ Further Evaluation

Fuel type: Heating system

Water Heater Data

Extension: Present

Location & Capacity

Location: Utility Room

Date Of Manufacturing : 2020

Capacity (gallons): 42

Thermostatic Mixing Valve (TMV) Installed : Yes

Comments:

PC.

~Over time, mineral sediment from the water supply settles at the bottom of the tank; This buildup forces the heating elements to work harder, which reduces efficiency and can cause premature failure; for optimal performance and to prolong the life of the water heater, it is recommended that the tank be flushed annually to remove accumulated sediment; This maintenance task should be performed by a qualified licensed plumbing contractor.



IR Hot Water Heater Operation

Waste

Condition: Professional Consultation/ Further Evaluation

Pipe type:Cast iron, PVC

Septic type:Private Per Listing/Agent/Owner

Comments:

PC.

~Private Septic System Evaluation: This observation indicates that at the time of the inspection, the interior portions of the septic system are functioning with adequate drain flow and no unusual septic odors within the home; However, a comprehensive evaluation of the exterior components is outside the scope of this inspection; A licensed septic professional must be consulted to verify the integrity and functionality of the septic tank, the distribution box, and the leach field; This assessment should include an inspection of the piping and a review of the tank's current condition and pumping history before taking possession of the home.



Waste And Drain Lines Interior Basement/Crawlspace/Above The Slab

Condition: Satisfactory
Type:PVC
Flow rate:Satisfactory

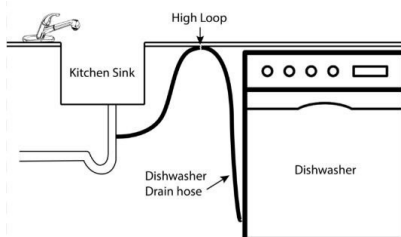
Appliance Drain Hook-Up

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~The dishwasher drain line lacks required backflow prevention, such as an approved air gap device or a secured high drain loop under the kitchen sink countertop; This condition can allow contaminated water to back up into the unit; Correction by a qualified plumber is recommended to ensure the dishwasher drains properly.



Water Pipes, Valves Conditions

Condition: Satisfactory
Type:Copper, PEX

Interior and or Exterior Septic/Sewer Vent Stack Pipe

Condition: Satisfactory
Type:PVC

Exterior Water Faucets and Shower If Present

Condition: Customer Note/ Sellers Note/ Owners Note
Faucet Type:Frost Free And Anti Siphon Prevention
Operating:Water On

Comments:

CN.

~Seasonal Use: After the end of the summer season it is important to remove all hoses and shut off outside water faucets if applicable; If installed, all outdoor shower systems need to be winterized.

Section 7: Propane Fired Hot Water Boiler(s)

Our examination of any heating system includes a visual examination of the exposed and accessible heating equipment, thermostat, venting and the means of air distribution. Our inspection of the heating system includes activating the heating system via the thermostat and a visual examination of the accessible components listed below. These items are examined for proper function, excessive or unusual wear and general state of repair. Heat exchangers are inaccessible by design and are not part of the inspection standards of practice. They must be completely removed from the heating system type to be fully evaluated. Our inspection does not include disassembly of the heating system or determining the heating adequacy of the heating system. The inspector cannot activate heating systems where emergency switches are in the off position. The inspector does not test safety devices. To obtain maximum efficiency and reliability from your heating system, we recommend servicing of heating systems before taking possession of the unit(s) if applicable and annual servicing and inspections by a qualified heating specialist going forward. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Propane Heating System Service

Condition: Professional Consultation/ Further Evaluation

Type:Boiler

Fuel Type:Liquid Propane

Heating System Data

Boiler Date Of Manufacturing : 2020

Capacity: 125,000

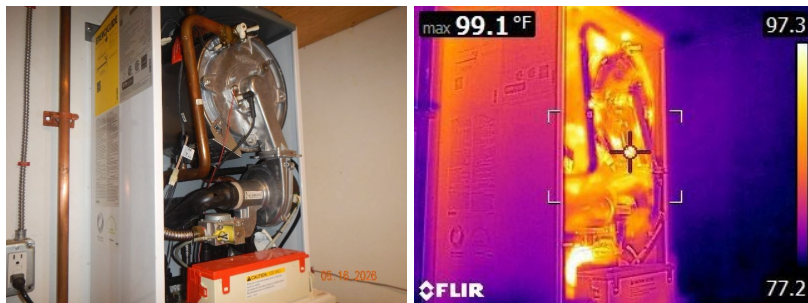
Location: Utility Room

Thermostat Location: Various

Comments:

PC.

~Propane Boiler Service and Maintenance: Observation of the propane boiler noted that the last service date could not be determined; To establish a baseline operating condition before taking possession, it is recommended that a licensed heating contractor perform a full service and cleaning; This should include an inspection of the shroud, sensors, piping, and circulation pumps for proper operation, corrosion, or scale; Annual servicing and the use of available service plans is important for propane-fired boilers to ensure all mechanical and exhaust components remain in safe and satisfactory condition.



IR Boiler Operation

Unit Exhaust Venting

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Comments:

PC/SI.

~Boiler Exhaust Vent Service: Observation of the heating system identified that the exhaust vent must be fully inspected during the next boiler service; It is necessary that a qualified HVAC technician verify the vent meets all current manufacturer specifications for safe operation; Ensuring the integrity of the exhaust path is important to confirm proper combustion clearance and to prevent hazardous gases from entering the home.

Condensate Neutralization Unit

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Test and Recharge At Service: The condensate produced by the boiler is acidic and has the potential to harm the environment and the sewer/septic system; The water discharge should be tested annually and the capsule recharged per manufacturers recommended procedures on a yearly basis when the boiler is serviced.



Heat Distribution

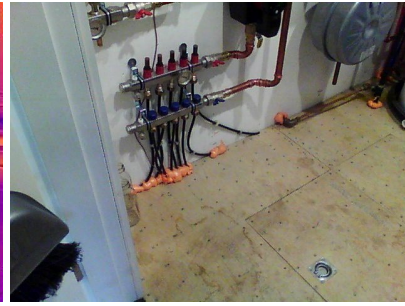
Condition: Customer Note/ Sellers Note/ Owners Note

Type: Radiant

Comments:

CN.

~Radiant Floor Heating Weather Inspection Limitation: Observation of the heating system identified that the radiant floors could not be fully tested due to warmer weather conditions and the longer lead time required for these systems to fully heat up; While the circulation pumps and utility room piping indicate the system is operational, full heating performance cannot be confirmed until it is run in colder weather; It is advised that a qualified HVAC technician perform a baseline service before the winter season to ensure all zones heat properly.



Section 7: Wood Stove

Wood Stove Service

Condition: Professional Consultation/ Further Evaluation, Safety Improvement

Location: First Floor

Comments:

PC/Sl.

~2026/27 Heating Season: If not completed this year, all woodstoves in the home will require cleaning, inspecting, and any safety deficiencies corrected before use by a professional chimney service/Chimney Sweep and ongoing on a yearly basis to ensure the stove and chimney are safe and function properly.

~Wood Stove Hearth Clearance: Evaluation of the heating area revealed that the current hearth does not provide the required 18 inches of clearance from combustible floor surfaces; wood-burning appliances require this specific buffer to protect against heat radiation and stray embers; the hearth will require the installation of additional non-combustible floor protection to meet safety standards; all modifications should be completed in accordance with manufacturer recommendations and local fire codes to ensure the safety of the residence.



Section 7: Split System Cooling/ Split Heat Pump

Our examination of the Heat Pump system includes a visual examination of the exposed and accessible equipment, thermostat, and the means of heating and cooling air distribution. Our inspection of the system includes activating the system when in some cases when weather permits, via the thermostat and a visual examination of the accessible components. These items are examined for proper function, excessive or unusual wear and general state of repair. Our inspection does not include disassembly of the heat pump or air distribution systems. To obtain maximum efficiency and reliability from your Heat Pump system, we recommend annual servicing and inspections by a qualified HVAC specialist.

Heat Pump Or Split Air Conditioning

Condition: Professional Consultation/ Further Evaluation

Type:Heat Pump

Fuel Type:Electric

Heating System Data

Unit(s) Date Of Manufacturing/ Purchase : 2019

Capacity: 3 Ton

Location:Side Of Home

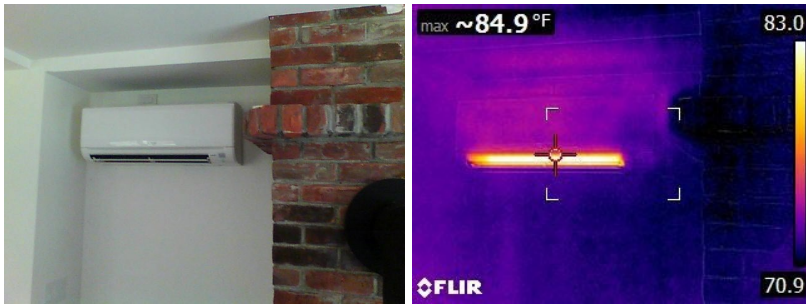
Thermostat Location:Remote Control Unit(s)

Comments:

PC.

~Heat Pump System Comprehensive Service: Observation of the property identified an installed heat pump system; It is advised that a qualified HVAC professional perform a review of both the interior air handling unit and the exterior condenser unit; This service should include cleaning or replacing all filters, clearing the exterior coils of debris, and verifying proper system operation; Regular professional maintenance is important for a buyer to maintain indoor air quality, maximize energy efficiency, and protect the longevity of the heating and cooling system.





IR Heat Tracing

Section 8: Interior

Our inspection of the Interior includes a visual inspection of the readily accessible portions of the walls, ceilings, floors, doors, cabinetry, countertops, steps, stairways, balconies and railings. Please note that a representative sample of the accessible windows and electrical receptacles are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of furnishings and personal items. In these cases some of the items may not be inspected. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather, and lighting conditions. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Where applicable, all components of the interior to include floor structure, ceilings, interior doors, moisture damage, windows, and stairs are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Interior Stairs and Balconies

Condition: Satisfactory

Ceilings

Condition: Needs Maintenance

Type: Drywall

Comments:

NM.

~Settlement cracks were observed in the home; The areas will need to be properly taped, plastered and painted; While repaired, settlement cracks may reappear over time as a result of home construction materials contracting and expanding.

Walls

Condition: Satisfactory

Type: Drywall

Interior Doors

Condition: Satisfactory

Windows

Condition: Satisfactory

Type: Double hung

Material:Clad
Glass Properties:Insulated glass

Interior Floor Structure

Floor Structure Condition: Does Not Include Floor Covering Types Condition To Include Cracks, Finish, Separation, Wear and Tear, Stains, Etc (not in inspection scope): Customer Note/ Sellers Note/ Owners Note

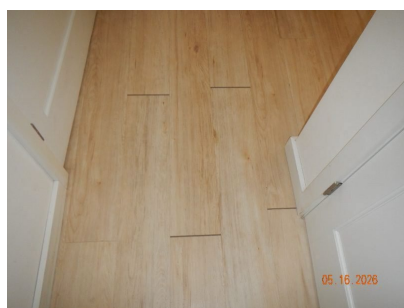
Floor Covering Types:Carpet, Ceramic tile, Laminate

Comments:

CN.

First Floor.

~Laminate Floor Gaps: Observation of the flooring identified gaps between some of the planks; It is advised that a qualified flooring contractor review the installation to determine the cause and perform any necessary repairs; Correcting these gaps is important to ensure the floor remains secure and easy to clean.



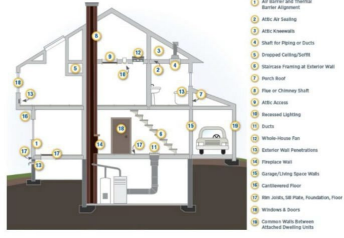
Energy Savings Tip: Air Sealing

Condition: Best Practice

Comments:

BP.

~Source: Energy.gov: "Reducing the amount of air that leaks in and out of your home is a cost-effective way to cut heating and cooling costs, improve durability, increase comfort, and create a healthier indoor environment; Caulking and weather-stripping are two simple and effective air-sealing techniques that offer quick returns on investment, often one year or less; Caulk is generally used for cracks and openings between stationary house components such as around door and window frames, and weather-stripping is used to seal components that move, such as doors and operable windows;" Properly sealing wall light switches and electrical receptacles is another area for improved air sealing.



Full Home Energy Audit

Condition: Best Practice

Comments:

BP.

Please Contact Your Electric Utility Provider.

~A home energy audit, also known as a home energy assessment, can help you understand the whole picture of your home's energy use; An audit can help you determine how much energy your home uses, where your home is losing energy, and which problem areas and fixes you should prioritize to make your home more efficient and comfortable; A home energy audit should be your first step before making energy-saving home improvements, as well as before adding a renewable energy system to your home.

Laundry Room

Condition: Safety Improvement

Dryer:Electric

Location:First Floor

Washing Machine :Not Tested: Confirmation Needed For New Buyer

Comments:

SI.

~Important Fire Protection Maintenance: At Move In And Ongoing: Washer and Dryer Behind and Under Unit Clean-up: An important maintenance task for fire prevention, the areas behind the washer and dryer cleaned and vacuumed of all lint, dust and objects that find their way behind the units over time; The dryer vent and all connecting venting hoses should be cleaned and if plastic vent pipes discovered replaced with metal and the termination point outside the home confirmed; The clothing washing machine plumbing and drain connections should be reviewed for proper installation and shut off ability; The clothing washing machine is not tested as part of the inspection due to the possibility of leaving water in the unit; Verification of the units operability should be made with the seller if the unit is part of the sale.



IR Dryer Operation

Moisture

Condition: Satisfactory

Heat Recovery Ventilation (ERV/HRV)

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Energy Recovery Ventilator (ERV) Maintenance: Observation of the home identified an Energy Recovery Ventilator (ERV) system; These units improve air quality by exchanging indoor and outdoor air while filtering impurities; It is recommended that the unit be inspected and maintained according to the manufacturer's instructions, including washing filters, vacuuming the interior, and cleaning exterior vents to ensure optimal performance.





Section 9: Kitchen

Inspection of ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection to inspect below or behind them. Portable dishwashers are not inspected, as they require connection to facilitate testing and are sometimes not left with the home. Some kitchens with private septic systems are outfitted with garbage disposals. The use of garbage disposals in general and type of garbage disposal should be discussed with the septic professional to determine the impact of garbage disposal use and the long term impact on the septic system. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Location : First Floor

Condition: Satisfactory

Comments:

First Floor.

~Where applicable, all components of the kitchen to include the cabinets, counters, dishwasher (start and drain), disposal, flooring, microwave, moisture, range/oven, refrigerator, sink and ventilation is inspected: The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Counters

Type:Solid surface

Flooring

Type:Laminate

Range / Oven

Fuel:Gas

Refrigerator

Ice Maker :Ice Maker Installed But No Ice Present

Section 10: Bathroom 1

Our inspection of the bathrooms included a visual examination of the readily accessible portions of the floors, walls, ceilings, cabinets, countertops, and plumbing fixtures. Bathrooms are inspected for water drainage, damage, deterioration to floor and walls, proper function of components, active leakage, unusual wear and general state of repair. Bathroom fixtures are run simultaneously to check for adequate water flow and pressure. Fixtures are tested using normal operating controls. Vent fans and their ductwork are tested for their proper operation and examined where visible. Shower pans are visually checked for leakage but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain all grout and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Observations

Location: Primary Bathroom

Condition: Satisfactory

Comments:

Primary Bath.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, showers, GFCI's, moisture, and flooring is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Section 10: Bathroom 2

General Observations

Location: First Floor Hallway

Condition: Satisfactory

Comments:

Second Floor Center Hall.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, shower, GFCI's, moisture, flooring, entrance door and water pressure is inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Section 10: Bathroom 3

General Observation

Location: First Floor Hall Half Bath

Condition: Satisfactory

Comments:

First Floor Half Bath.

~Where applicable, all components to include the tub, ventilation, toilets, sinks, shower, GFCI's, moisture, flooring, entrance door and water pressure is inspected; All of the components inspected satisfactory unless listed.

Section 11: Attic

Our inspection of the Attic includes a visual examination of the roof framing, roof sheathing, plumbing, electrical, and mechanical systems. There are often additional items like heating/cooling ducts, bathroom vent ducts, electrical wiring, chimneys and other appliance vents in the Attic. We examined these systems and components for proper function, unusual wear and general state of repair, and venting. When low clearances and deep insulation prohibits walking in an unfinished Attic, inspection will be from the access opening only. Vaulted ceilings cannot be inspected. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

General Conditions

Condition: Customer Note/ Sellers Note/ Owners Note

Comments:

CN.

~Where applicable, observed and accessible: All components of the Attic to include the stairs if applicable, roof framing, roof sheathing, attic venting, vent pipes and flashing, moisture, wire conditions and properly installed insulation are inspected; The components that were observed are in satisfactory condition at the time of the inspection unless listed.

Attic Access: Blocked, Observation From The Ladder Position: Pest, Small Opening, Stairwell Opening or Blown Insulation or Vermiculite, Sealed Peak

Location: Bedroom.

Condition: Customer Note/ Sellers Note/ Owners Note

Observation Position:Scuttle Hole

Comments:

CN.

~Blown In Insulation: Observation From The Ladder Position: Due to the presence of blown in insulation and not to disturb the thermal envelope provided by the insulation or risk falling through the ceiling as a result of lack of joist visibility, the attic space could not be fully accessed and the inspection was performed from the ladder position; Observations from this position and a strong spotlight shown into the attic area indicate satisfactory attic conditions were observed from this position.

Interior Roof Structure

Condition: Satisfactory

Type:Truss



Moisture Evidence

Condition: Satisfactory

Observed Condition:None

Attic Ventilation

Type:Gable Louvers, Soffit Vents

Insulation: Attic/Knee Wall

Condition: Customer Note/ Sellers Note/ Owners Note

Type of Insulation Present:Blown-in

Insulation Location(s):In-floor

Comments:

CN.

~Attic Insulation Present: Observation of the attic space confirmed the presence of Blown In Cellulose insulation with an estimated R-value of 42 (confirmation of the actual R-value will need to be made at the energy audit); This current level is below the newer recommendation of R-49 for this region; It is recommended that a professional insulation contractor be consulted to achieve the desired R-value; It is suggested that you contact your local electric utility provider to discuss available programs or rebates to determine the best next steps for improving the home's energy efficiency.

Section 12: Electrical

Our examination of the electrical system includes a visual examination of the exposed and accessible branch circuits, wiring, service panel, overcurrent protection devices, lighting fixtures, switches, and receptacles. Service equipment, proper grounding, and wiring methods. We inspect for adverse conditions such as improper grounding, over fusing, exposed wiring, open air wire splices, and defective GFCI's. The hidden nature of the electrical wiring prevents inspection of every length of wire or their connections. Telephone, video, cable, audio, security systems and other low voltage systems were not included in this inspection. Any electrical repairs need to be completed by a licensed electrician. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection. Smoke Alarms should be installed per state requirements and maintained and changed per manufacturer recommendations to include monthly testing. Please refer to the Inspection Agreement for a detailed explanation of the scope of this inspection.

Service Entrance

Condition: Safety Improvement

Volts: 120/240

Type: Overhead

Capacity: 200

Location: Rear Of Home

Comments:

SI.

~Electrical Service Tree Trimming: Observation of the exterior electrical service identified that tree limbs are growing close to or are in direct contact with the overhead service lines; This contact can cause power interruptions or damage to the home's electrical system during limb failure events or windy conditions; It is recommended that the local utility provider be contacted to safely trim the branches away from the wires; Do not perform this work on your own as service lines can cause serious injuries or death.



Generator

Condition: Professional Consultation/ Further Evaluation

Comments:

PC.

~Standby Generator: Auto Transfer Switch; Active Control Status: The home is equipped with a 14 kW propane fired exterior power generation unit and auto transfer switch gear at the electrical panel in the basement; The unit is inspected for exterior defects, vegetation blocking air intake ports, and last service date indications; The unit is not live tested as part of the home inspection scope; A licensed electrical contractor or service company servicing the generator should be consulted about the current service status

and verification of the units operation, all connecting service wires, oil condition, the electrical circuits and systems supported by the generator and all transfer switching off and back onto the utility service.

~Backup Generator Service Plan: Last Service Date 4/2026; It is recommended that a comprehensive service plan including emergency repair coverage be established; This proactive approach ensures the unit remains reliable and fully operational during power outages.

~Clear Vegetation: All vegetation around the unit needs to be cleared to allow for full airflow into the unit when in operation.



First Disconnect(s)

Condition: Satisfactory

Location: At Electric Meter

Volts: 120 - 240V

Capacity: 200 A

Type and Presence : Circuit-breakers



Main Panel(s)

Condition: Safety Improvement

Location: Utility Room

Volts: 120/240

Capacity: 200 A

Type and Presence : Circuit-breakers, Installed GFCI Breaker(s) Tested, AFCI Breaker(s) Present and Tested, Ongoing GFCI and AFCI Testing Per Manufactures Recommended Intervals At Move In and Going Forward

Panel Manufacturer (s) : Square D

Subpanel Designation : Yes

Properly Grounding & Bonding

Grounding: Grounded

Comments:

SI.

~New construction requirements are in place, and the electrical panel will need to be reviewed by a Licensed Electrician to perform the identified recommendations or other repairs identified by them in their assessment; In some cases, a need to upgrade the panel will be made based on the ability of the panel to accommodate the identified recommendations.

~Surge Protection for Sensitive Equipment: Evaluation of the electrical system revealed that a Surge Protective Device (SPD) is currently missing; Modern homes contain sensitive electronics and appliances that are vulnerable to high-voltage spikes; It is recommended that a whole-house surge protector be installed within the panel to mitigate the risk of damage from external power surges.

~Circuit Labeling and Verification: It is recommended that the labeling be professionally updated to accurately reflect the current use of all areas in the home; Proper labeling is essential for safety during maintenance and in the event of an emergency.



Wiring Methods Observed In The Structure

Type of wiring:Non-Metallic Sheathed Cable

General Observation(s): Outlets, Fixtures, and Switches

Condition: Safety Improvement

Testing Information

Testing Method: GFCI Test Light

Outlets Tested For

- Reverse polarity
- Non-GFCI
- Ungrounded

Comments:

SI.

~Electrician Walkthrough and Repair: Home, Garage, and Outbuildings If Present: Commonly found in most properties and sometimes as a result of limited observation due to items and furniture in the home, a room by room and area review will need to be completed; Any missing/ damaged light fixtures, light switch and plug covers, improperly terminated or loose wires, or missing junction box covers installed and not identified during the inspection will need to be repaired.

~Where Applicable: All GFCI to include exterior outlets, AFCI outlets and circuits will need to be tested at move in and ongoing per manufactures recommend intervals to ensure the outlets and circuits trip and reset properly.

~Licensed Electrician: All repairs will need to be performed by a licensed electrician.

Exterior: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Exterior EV Car Charger Safety: Observation of the property identified an exterior electric vehicle (EV) car charger; It is necessary that the 240-volt (commonly referred to as 220V) electrical circuit feeding the charger be confirmed as GFCI protected; Ensuring ground-fault protection is important for an outdoor charging station to prevent shock hazards and to meet safe building standards for damp or wet environments.



Plumbing: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Well Pump Electrical Wiring Protection: Observation of the well pump identified that the colored electrical supply wires are currently exposed and unprotected; These wires can be damaged, which could cause the pump to fail; It is recommended that a licensed electrician install these wires inside a protective conduit; This fix is recommended to keep the well pump safe and working reliably.

~Well Pump Electrical Grounding Deficiency: Observation of the well system identified an older two-wire power supply that lacks a safety grounding wire; It is advised that a licensed electrician review the system to upgrade the circuit to include a proper ground path; Correcting this missing ground is important to eliminate shock hazards and ensure the circuit breaker trips safely during an electrical fault.



Laundry: Outlets, Fixtures, & Switches

Condition: Safety Improvement

Comments:

SI.

~Laundry Area GFCI Protection: Dryer: Observation of the laundry area identified that the dryer circuit lacks GFCI protection; It is recommended that a licensed electrician be consulted to install GFCI protection for the dryer to meet current safety standards.

Smoke and CO Detection

Condition: Safety Improvement

Comments:

SI.

~Smoke and Carbon Monoxide Detection Compliance: Evaluation of the home's detection systems was limited to a visual confirmation of presence as units are not removed or tested during this inspection; It is recommended that a qualified professional be consulted prior to taking possession to verify the location, age, sensor type—specifically the use of ionization and photoelectric technology—and whether the units are hard-wired or battery-operated; The professional should confirm if CO detection is present or missing in current units and ensure the system meets State Fire Marshal standards; Any units exceeding ten years of age should be replaced and a maintenance schedule established for weekly testing and regular battery replacement.

Current Status.

~Smoke: Present

~CO: Confirmation Required When The Units Are Removed And Inspected.

~NH: Install Per The Rules Found At New Hampshire Division of Fire Safety Site:

<https://www.concordnh.gov/DocumentCenter/View/16411/2020-05-Smoke-Detector-devices-in-Dwellings>
and <https://mm.nh.gov/files/uploads/fmo/remote-docs/2020-06-carbon-monoxide-devices.pdf>

~Additional National Fire Protection Association Smoke Detection Information Link:

<https://www.nfpa.org/education-and-research/building-fire-safety/smoke-alarms/installing-and-maintaining-smoke-alarms>

~Additional National Fire Protection Association CO Detection Information Link:

<https://www.nfpa.org/education-and-research/building-fire-safety/carbon-monoxide>

<end of report>